

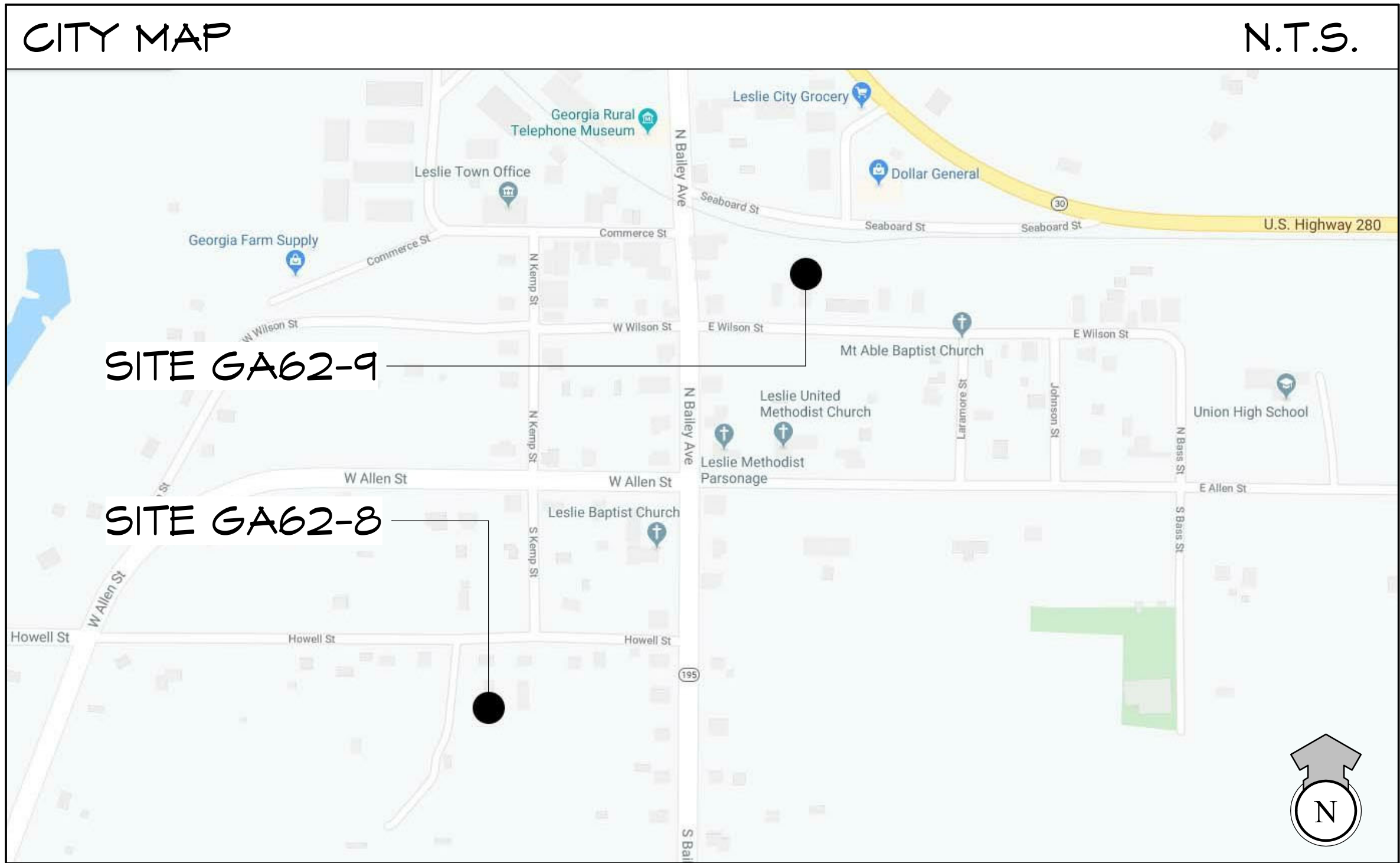
EXTERIOR & INTERIOR HANDICAPPED ACCESSIBILITY RENOVATION AT DEVELOPMENTS GA62-8 & GA62-9 AMERICUS, GEORGIA

ARCHITECT:
BRADFELD RICHARDS RHODES AND ASSOCIATES,
ARCHITECTS, INC.
1040 CROWN POINTE PARKWAY
SUITE 550
ATLANTA, GEORGIA 30338

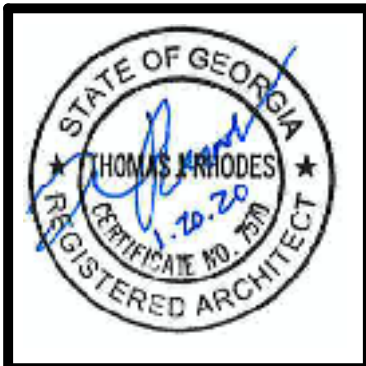
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TRHODES@BRR-ARCHITECTS.COM

OWNER:
HOUSING AUTHORITY OF THE CITY OF AMERICUS
825 NORTH MAYO STREET
AMERICUS, GEORGIA 31709-2627

GEORGE F. EDGE, CEO
229.924.3386



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SET NUMBER

JOB NUMBER:
1911-00
DATE:
01-20-2020

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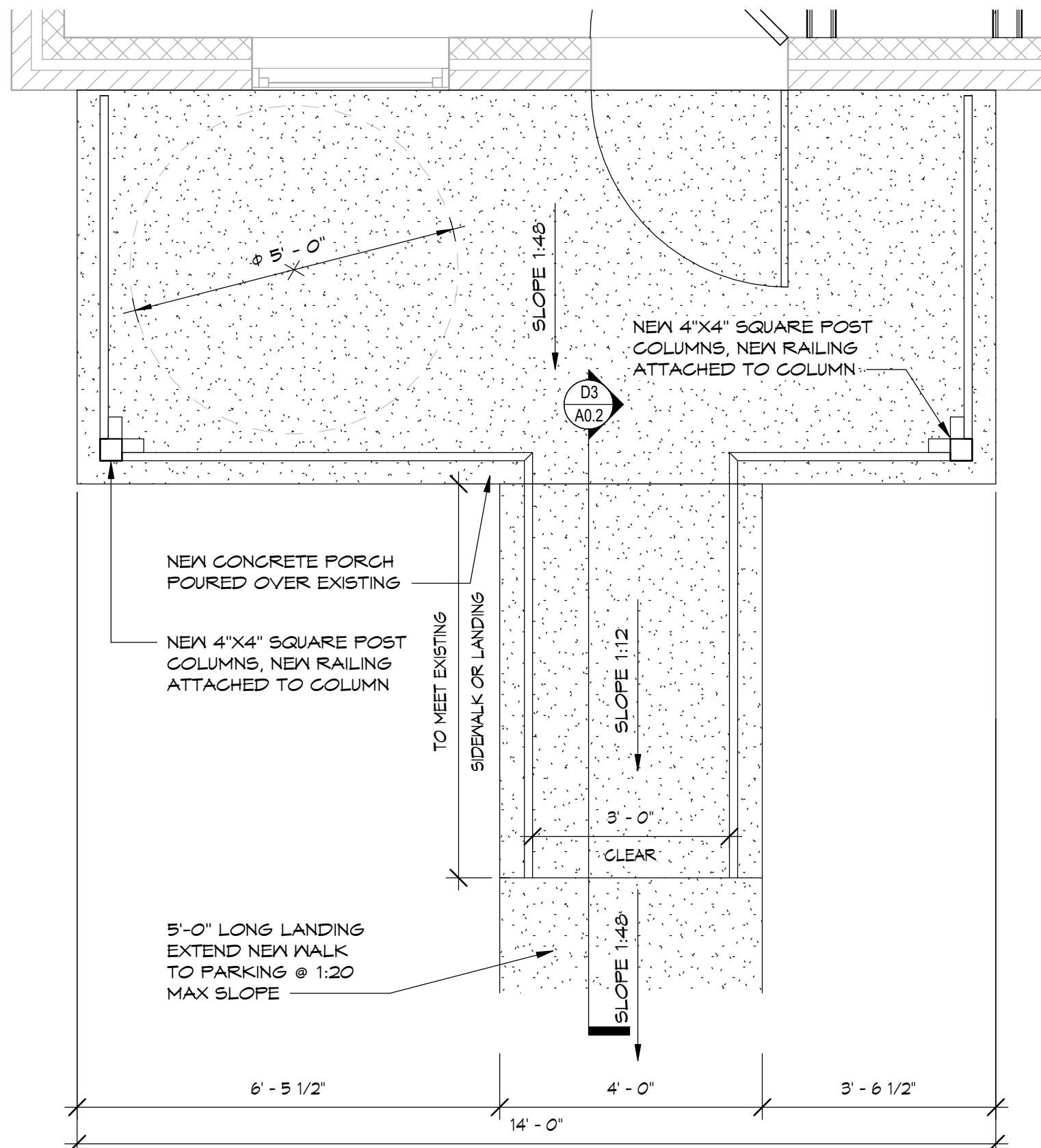
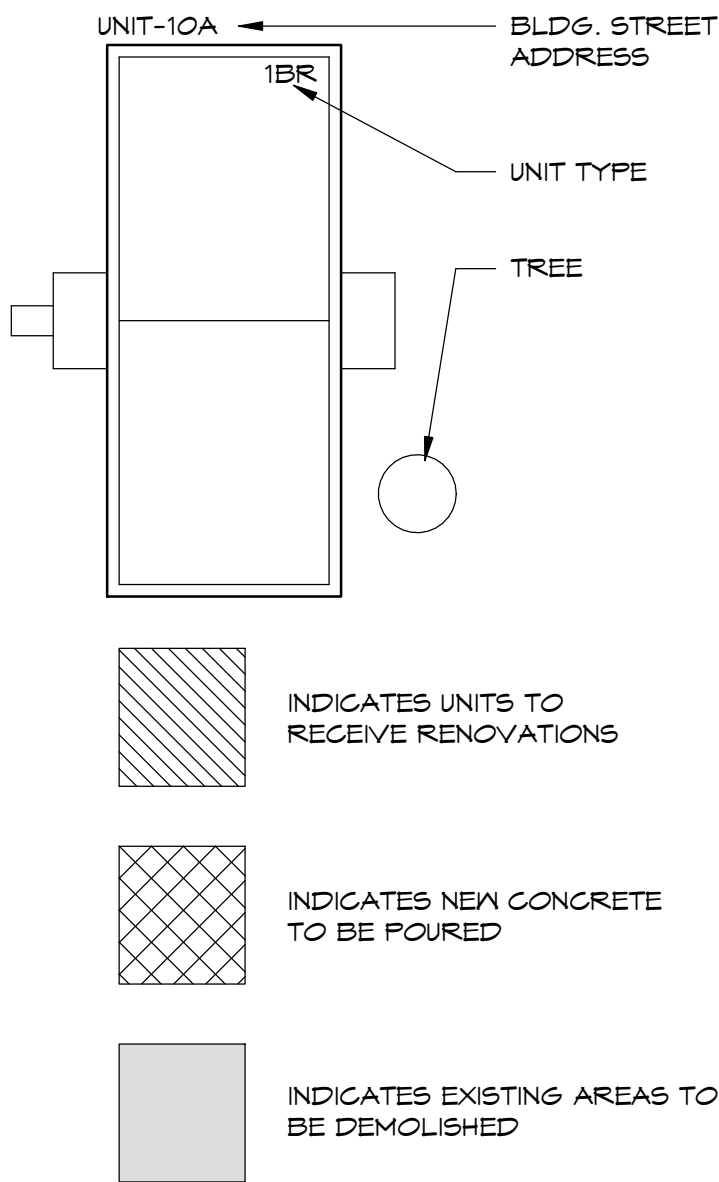
SITE NOTES:

1. GENERAL
- A. PROVIDE TOP SOIL TO RAISE GRADE TO MATCH EXISTING AND ESTABLISH PERMANENT GRASS IN ALL AREAS WHERE SIDEWALKS WERE REMOVED. GRASS SPECIES SHALL MATCH EXISTING.
 - B. PROVIDE NEW ADA COMPLIANT PARKING SIGN AND SYMBOLS AT HANDICAPPED ACCESSIBLE PARKING SPACE TO CONFORM TO REQUIREMENTS OF ADA AT HANDICAPPED ACCESSIBLE UNIT IN GA086-005.
 - C. PROVIDE NEW PIPE HANDRAIL AROUND FRONT PORCH TO ATTACH TO NEW PORCH COLUMNS & REAR PORCH ATTACHED TO EXISTING WALL.
 - D. PROVIDE RAMP TO NEW FRONT PORCH WITH INDICATED SLOPES AND LANDING TO MEET EXISTING SIDEWALK WHERE INDICATED.
 - E. PROVIDE NEW SIDEWALK FROM EXISTING TO NEW FRONT PORCH RAMP WHERE INDICATED.
 - F. PROVIDE ASPHALT FOR NEW PARKING SPACE W/ NEW WHEELSTOP, HANDICAP PARKING SIGN, PAINT FOR RESTRIPTING, AND TRANSITION AREAS TO NEW SIDEWALK.

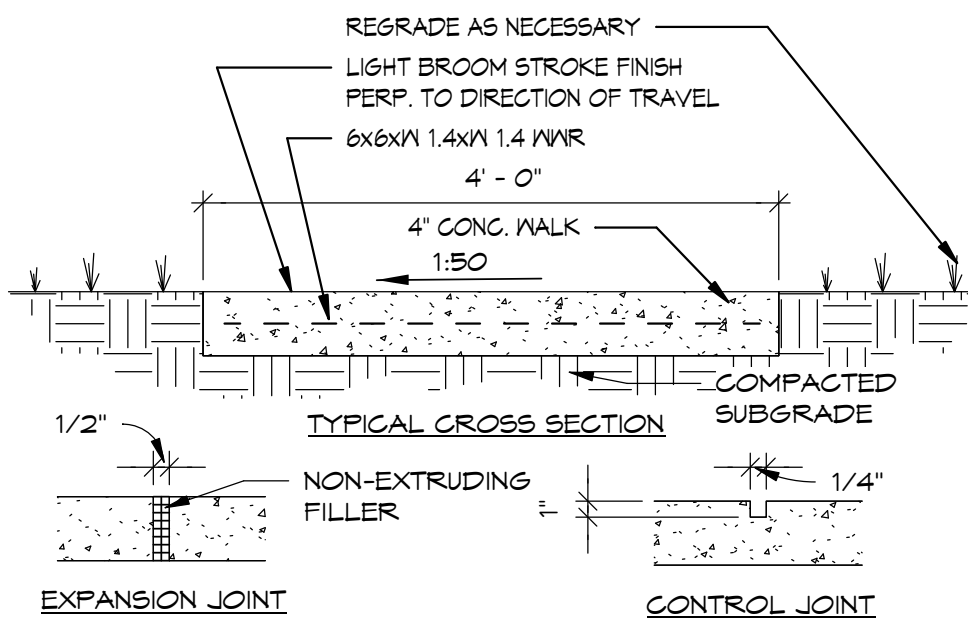
DEMO NOTES:

1. GENERAL
- A. REMOVE EXISTING SIDEWALKS WHERE INDICATED.
 - B. REMOVE EXISTING CLOTHESPOLE WHERE INDICATED.
 - C. PROVIDE SITEWORK TO CLEAR FOR NEW HANDICAP PARKING SPOT.

LEGEND

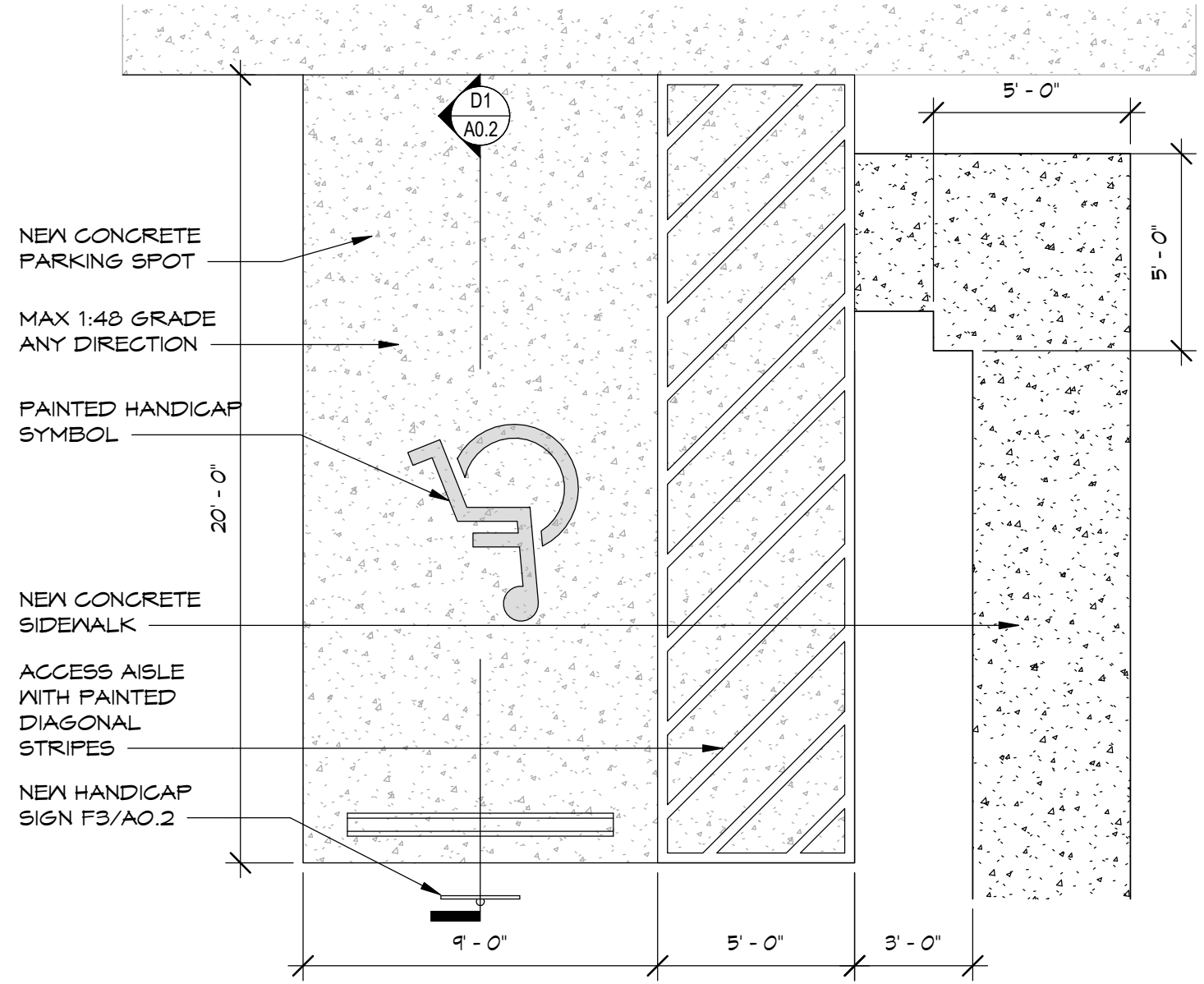


C6 3BR HANDICAP FRONT PORCH
1/2" = 1'-0"

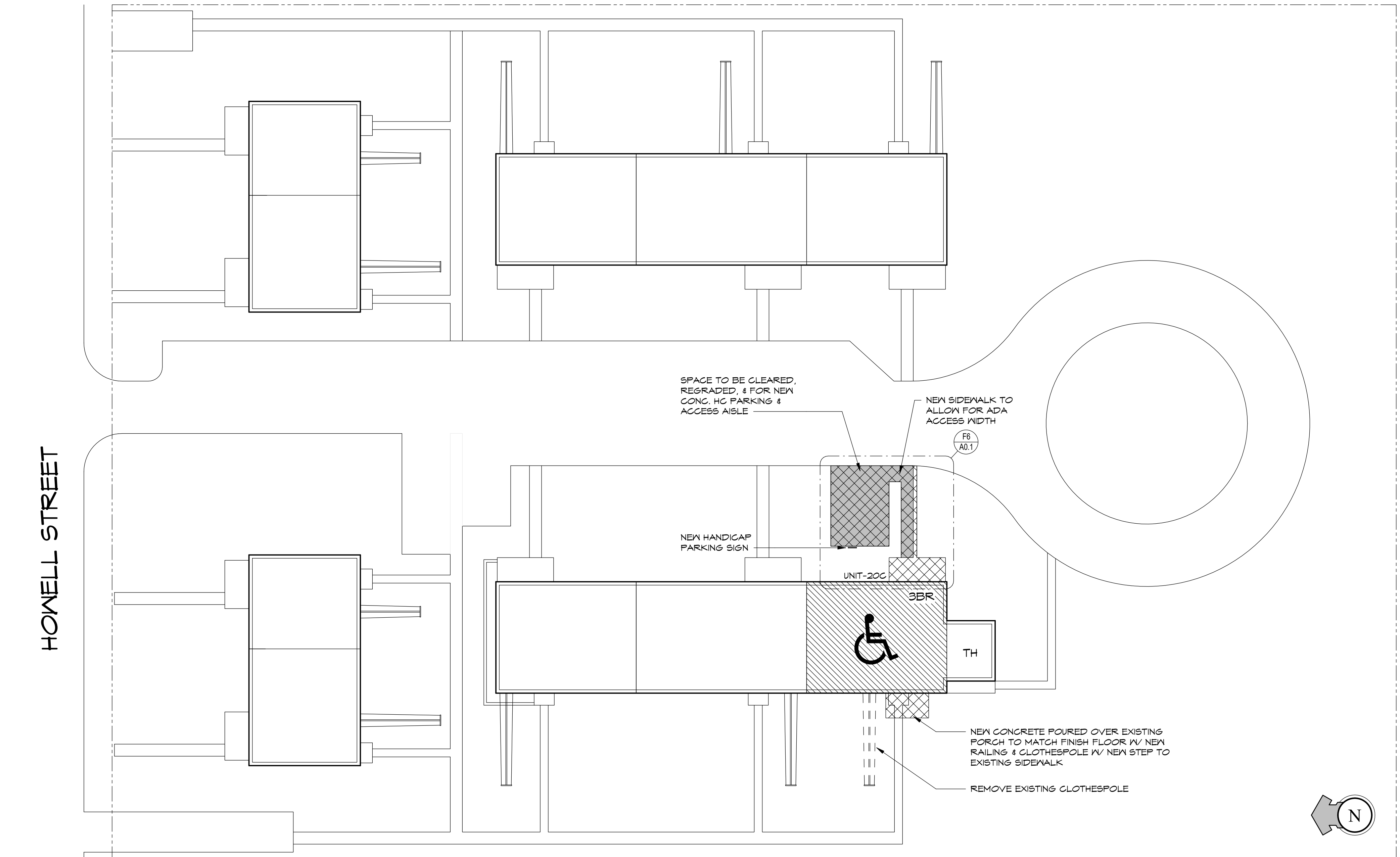


- NOTES
1. CONCRETE (3000 P.S.I. 28 DAYS)
 2. PROVIDE 6"x6"x1.4"x1.4" WWR REINFORCEMENT
 3. PROVIDE EXPANSION JOINTS AT HALF LENGTH OF ALL SIDEWALKS LONGER THAN 30'
 5. PROVIDE CONTROL JOINTS SPACED TO MATCH WALK WIDTH.
 6. TOOL ALL EXPOSED EDGES AND JOINTS TO 1/4" RAD.

E6 SIDEWALK REPLACEMENT DETAIL
1" = 1'-0"



F6 SITE GA62-8 HANDICAP PARKING PLAN
1/4" = 1'-0"



F1 SITE GA62-8
1/16" = 1'-0"



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GA62-8 SITE PLAN
EXTERIOR & INTERIOR HANDICAPPED ACCESSIBILITY RENOVATION AT
DEVELOPMENTS GA62-8 & GA62-9
AMERICUS, GEORGIA

BRADFIELD
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A0.1

GENERAL NOTES:

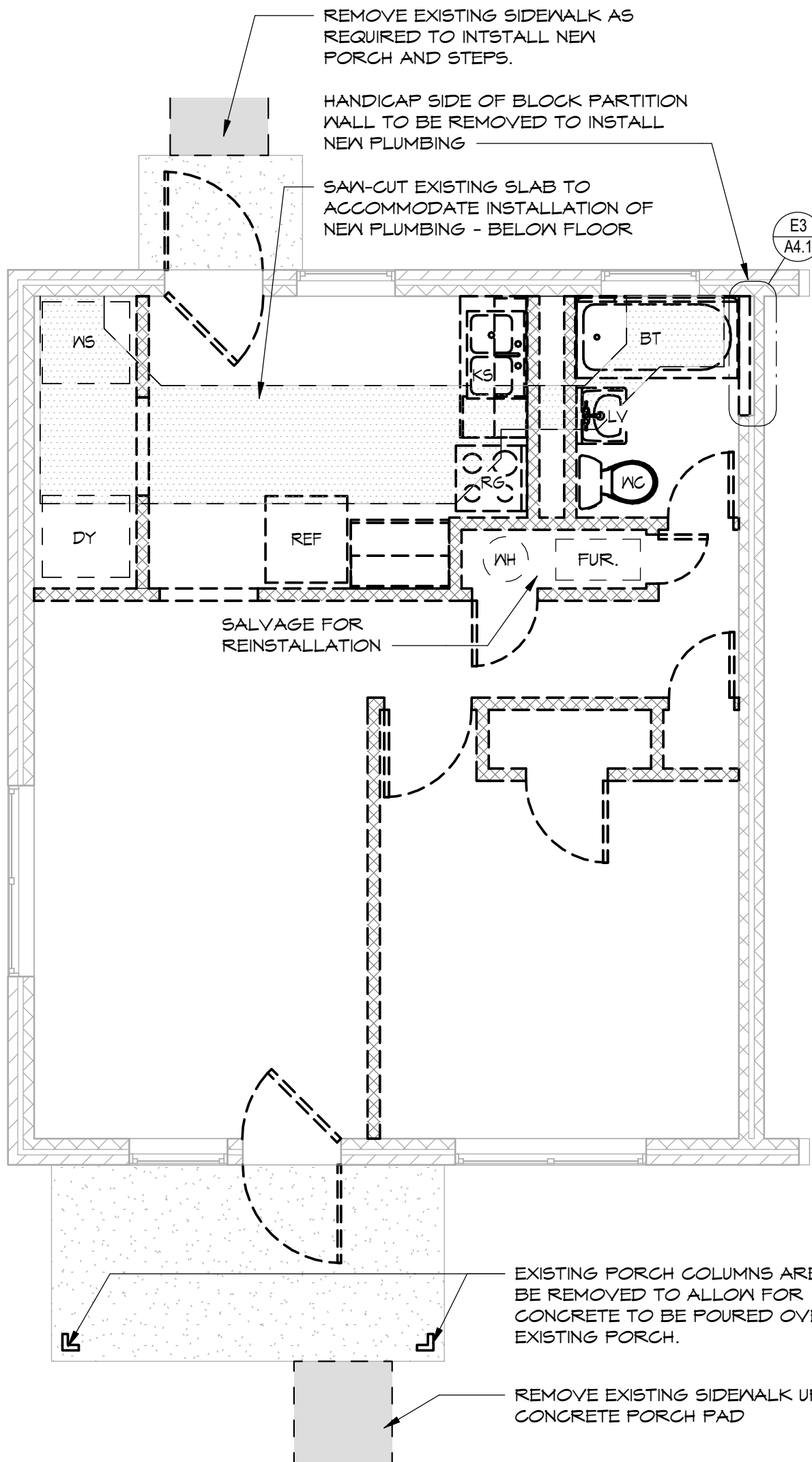
1. ALL EXISTING CONDITIONS INDICATED ARE BASED ON INFORMATION PROVIDED BY THE OWNER AND THE ARCHITECTS ON-SITE OBSERVATIONS AND INTERPRETATIONS. VARIATIONS IN EXISTING CONDITIONS WILL OCCUR. ALL DIMENSIONS, LOCATIONS, OPENING SIZES, MATERIALS, ETC., ARE APPROXIMATE EXCEPT WHERE PROVIDED FOR ADA COMPLIANCE. VERIFY EACH DIMENSION, LOCATION, OPENING SIZE, MATERIAL, ETC., PRIOR TO ORDERING OR FABRICATION OF COMPONENTS OR ITEMS WHICH MAY BE AFFECTED BY, OR MUST BE COORDINATED WITH SUCH INFORMATION.
2. THE CONTRACTOR, BY SUBMITTING HIS PROPOSAL, DOES CERTIFY THAT HE HAS VISITED THE PROJECT SITES OR SITES, AND IN PREPARING HIS PROPOSAL HAS BECOME FAMILIAR WITH THE EXISTING CONSTRUCTION AND CONDITIONS UNDER WHICH THE WORK SHALL BE EXECUTED.
3. THE FOLLOWING IS A GENERAL DESCRIPTION OF EXISTING CONSTRUCTION AT THE GA086-005 AND GA086-006 SITES IN MADLEY, GA. THIS GENERAL DESCRIPTION IS NOT INTENDED TO BE A COMPREHENSIVE OR EXHAUSTIVE LIST OF ALL CONDITIONS TO BE ENCOUNTERED:
- a. FLOOR CONSTRUCTION:
- FLOORS ARE CONCRETE SLAB-ON-GRADE WITH WELDED WIRE FABRIC REINFORCING.
- b. WALL CONSTRUCTION:
- EXTERIOR WALLS ARE 4" CONCRETE BLOCK WITH 2" AIR SPACE AND BRICK VENEER. INTERIOR SURFACES OF EXTERIOR WALLS IN KITCHENS AND BATHROOMS HAVE BEEN COVERED WITH VENEER PLASTER. GYPSUM JOINT COMPOUND ORANGE PEEL HAS BEEN APPLIED OVER CONCRETE BLOCK AND VENEER PLASTER.
 - INTERIOR WALLS ARE 4" CONCRETE BLOCK WITH GYPSUM WALL BOARD AND 1X WOOD STUDS ON ALL CORNERS.
- c. CEILING CONSTRUCTION:
- CEILINGS ARE GYPSUM LATH WITH VENEER PLASTER.
- d. ROOF CONSTRUCTION:
- ROOF STRUCTURE IS A COMBINATION OF FIELD FABRICATED FREE SPAN WOOD TRUSSES AND CONVENTIONAL WOOD FRAMING WITH WOOD SHEATHING AND FIBERGLASS SHINGLES.
4. DEMOLITION PLANS ARE DIAGRAMMATIC IN NATURE AND DO NOT INDICATE EACH AND EVERY ITEM TO BE DEMOLISHED. DEMOLITION PLANS INDICATE ONLY THE GENERAL SCOPE OF WORK REQUIRED TO ACCOMPLISH THE DESIGN CHANGES AND NEW CONSTRUCTION INDICATED. COORDINATE AND VERIFY WITH THE ARCHITECT WHEN QUESTIONS ARISE AS TO THE EXTENT OF, OR ITEMS REQUIRED TO BE DEMOLISHED.
5. WHERE DEMOLITION OR NEW CONSTRUCTION ACTIVITIES DAMAGE EXISTING SURFACES, THE CONTRACTOR SHALL PATCH AND/OR OTHERWISE REPAIR THE DAMAGED SURFACES AND RETURN THEM TO THEIR UNDAMAGED STATE.
6. EXISTING SURFACES NOT OTHERWISE INDICATED TO BE REPLACED SHALL BE CLEANED AND PATCHED AS REQUIRED TO ELIMINATE ANY SURFACE IRREGULARITIES TELEGRAPHING THROUGH FINISH MATERIALS.

DEMOLITION NOTES:

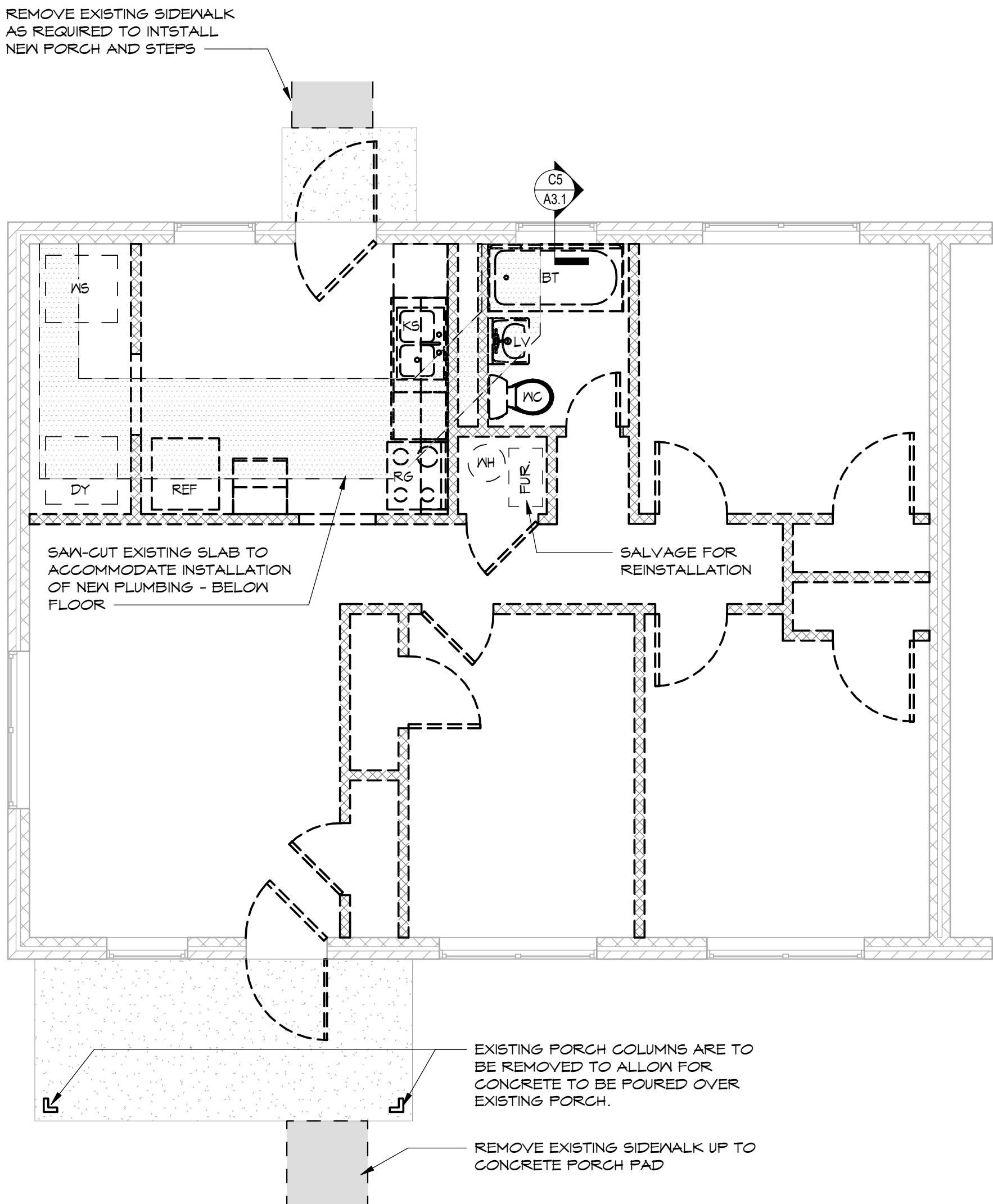
1. INTERIOR
- A. REMOVE EXISTING RESILIENT FLOORING, MASTIC, AND BASE.
- B. REMOVE BATHROOM CERAMIC TILE FLOORING, MAINSCOT, BASE, AND TUB SURROUND.
- C. REMOVE BATHROOM ACCESSORIES.
- D. REMOVE KITCHEN WALL CABINETS, BASE CABINETS, AND COUNTER TOPS.
- E. REMOVE EXISTING SCREEN DOORS TO BE REFINISHED AND REINSTALLED.
- F. REMOVE EXTERIOR DOORS, FRAMES, CASING, AND HARDWARE TO BE REFINISHED AND REINSTALLED.
- G. REMOVE ALL INTERIOR DOORS, FRAMES, AND HARDWARE.
- H. REMOVE SECURITY WINDOW SCREENS AND RETAIN FOR REINSTALLATION, TO BE CLEANED AND REINSTALLED.
- I. REMOVE ALL CROWN MOLD.
- J. REMOVE ALL GYPSUM BOARD COVERED PLASTER CEILINGS.
- K. REMOVE EXISTING CONCRETE BLOCK WALLS WHERE INDICATED AND EXISTING WALL FINISHES WHERE INDICATED.
- L. REMOVE ALL EXISTING BASE.

DEMOLITION LEGEND:

- [---] DEMOLISHED WALL
- [---] EXISTING WALL
- KS - KITCHEN SINK
- WH - WATER HEATER
- WC - WATER CLOSET
- WS - WASHER
- WB - WASHER BOX
- BT - BATH TUB
- LV - LAVATORY
- RG - RANGE
- REF - REFRIGERATOR
- FUR - FURNACE



F1 1BR UNIT - DEMO
1/4" = 1'-0"



F3 3BR UNIT - DEMO
1/4" = 1'-0"



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DEMOLITION - FLOOR PLAN &
NOTES

EXTERIOR & INTERIOR HANDICAPPED ACCESSIBILITY RENOVATION AT
DEVELOPMENTS G462-8 & G462-9
AMERICUS, GEORGIA

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A1.1

NEW CONSTRUCTION NOTES:

1. INTERIOR

- A. PROVIDE NEW 1HR FIRE RATED ATTIC SEPARATION WALLS OVER COMMON WALL IN ATTICS AND IN SOFFITS OF DWELLING UNITS. ATTIC SEPARATION WALL SHALL MEET OR EXCEED REQUIREMENTS OF UL DESIGN NO. U415.
- B. PROVIDE NEW DUROVENT UDV234610 INSULATION BAFFLES AT EAVES TO MAINTAIN VENTILATION AND ADD BLOWN FIBERGLASS INSULATION TO ACHIEVE R-38 IN ALL DWELLING UNIT ATTICS.
- C. PROVIDE NEW DWELLING UNIT SIGNAGE.
- D. PROVIDE NEW FRAMING WHERE FLOOR PLAN MODIFICATIONS ARE INDICATED. FRAMING SHALL BE #2SPF, PRESSURE TREATED WHERE IN CONTACT WITH CONCRETE AND MASONRY. FRAMING ANCHORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE OF A TYPE COMPATIBLE WITH THE TYPE OF TREATMENT USED.
- E. PROVIDE NEW GYPSUM BOARD CEILINGS. PROVIDE NEW OSB BACKED GYPSUM WALLBOARD AT ALL NEW WALL FRAMING. NON-FIRE RATED GYPSUM BOARD SHALL BE A MINIMUM 1/2". MINIMUM 5/8" FIRE RATED GYPSUM BOARD SHALL BE INSTALLED AT ALL MECHANICAL ROOMS, CEILINGS, AND PARTY WALL LOCATIONS. MOISTURE AND MOLD RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WOOD FRAMED WALLS IN ALL BATHROOMS, KITCHENS, AND WASHER LOCATIONS. GYPSUM BOARD SHALL BE ATTACHED WITH COARSE THREAD, BUGLE HEAD SCREWS, MINIMUM LEVEL 4 FINISH.
- F. PROVIDE NEW FINGER JOINTED 1X4 CROWN MOLD. PROVIDE NEW FINGER JOINTED 1X12 WOOD BASE BOARDS WITH EASED EDGE AND NM126 SHOE MOLD IN ALL ROOMS.
- G. PROVIDE NEW EDGE BANDED 3/4" THICK SANDED PLYWOOD SHELVING IN CLOSETS OF ALL DWELLING UNITS. PROVIDE 3/4" SCH40 STEEL CLOSET RODS AND BRACKETS IN ALL CLOTHES CLOSETS. PROVIDE INTERMEDIATE CLOSET SHELF AND ROD SUPPORT BRACKETS WHERE CLOSETS ARE 54" OR WIDER.
- H. SAND & REPAINT METAL EXTERIOR DOORS AND FRAMES WITH NEW HARDWARE.
- I. PROVIDE NEW SC BIRCH INTERIOR DOORS WITH METAL FRAMES AND HARDWARE.
- J. PRIME AND PAINT ALL WALLS, CEILINGS, DOORS, FRAMES, SHELVING, AND TRIM (CAULK ALL FRAMES, SHELVING, AND TRIM). PRIMER SHALL BE SUITED TO THE SUBSTRATE; PROVIDE A STAIN BLOCKING PRIMER WHERE REQUIRED TO PREVENT BLEED THROUGH.
- K. PROVIDE NEW VCT FLOORING IN ALL ROOMS, EXCEPT BATHROOMS.
- L. PROVIDE NEW CERAMIC TILE FLOORING WITH SOLID SURFACE THRESHOLD IN ALL BATHROOMS.
- M. PROVIDE NEW KITCHEN CABINETS AND NEW COUNTER TOPS.
- N. INSTALL OWNER APPLIANCES.
- O. PROVIDE NEW BATH ACCESSORIES.

LEGEND:

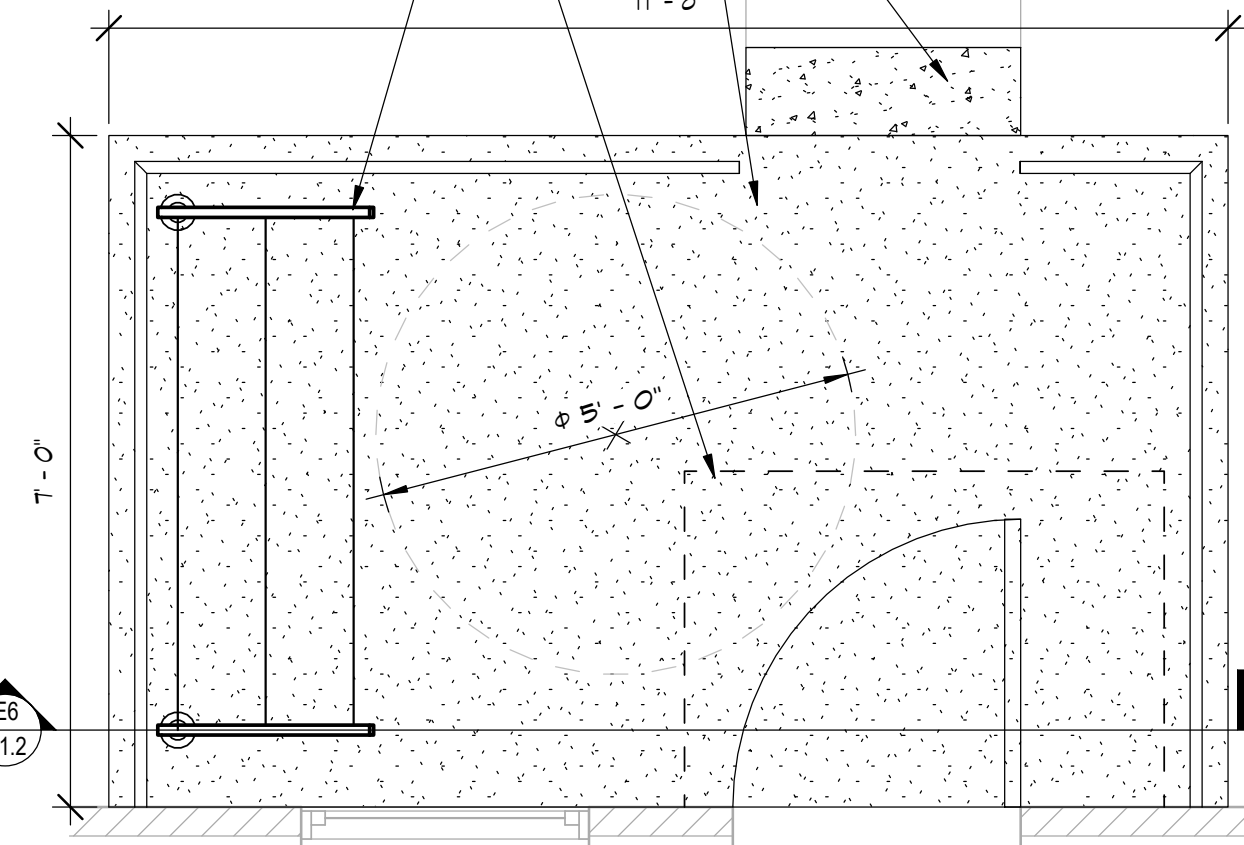
- NEW 2X4 WOOD WALL
GWB ON OSB
- EXISTING WOOD WALL
- DOOR TYPE
- WINDOW TYPE
- WALL TYPE
- ATTIC ACCESS DOOR
- ELECTRICAL PANEL
- KITCHEN SINK
- WATER HEATER
- WATER CLOSET
- WASHER
- DRYER
- WASHER BOX
- BATH TUB
- LAVATORY
- RANGE
- REF - REFRIGERATOR

NEW STEP TO MATCH EXISTING
SIDEWALK WIDTH

NEW CONCRETE OVER
EXISTING PORCH FLUSH WITH
FINISH FLOOR AT DOOR.

EXISTING PORCH FOOTPRINT

NEW HANDICAP
CLOTHES POLE



C5 3BR HANDICAP REAR PORCH

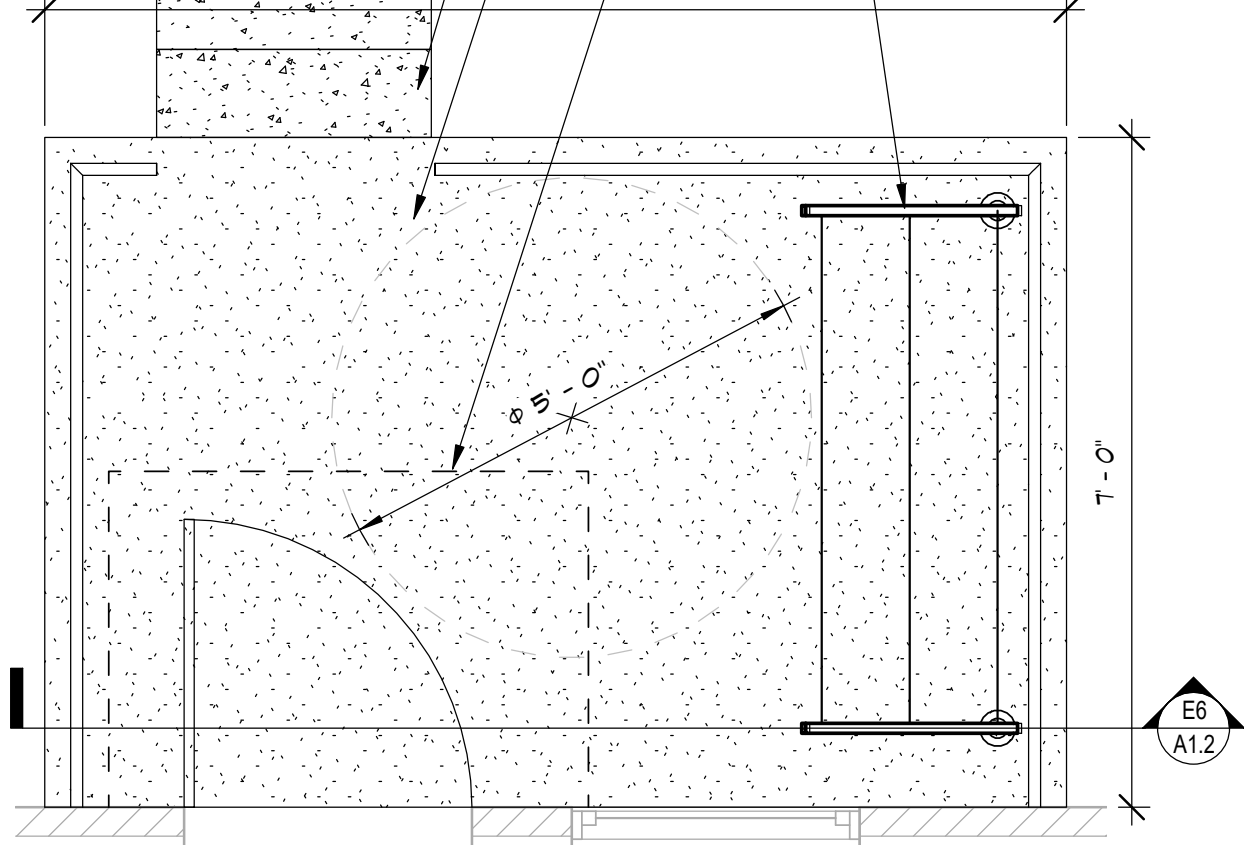
1/2" = 1'-0"

NEW STEPS TO MATCH EXISTING
SIDEWALK WIDTH

NEW CONCRETE PAD OVER
EXISTING PORCH FLUSH WITH
FINISH FLOOR AT DOOR.

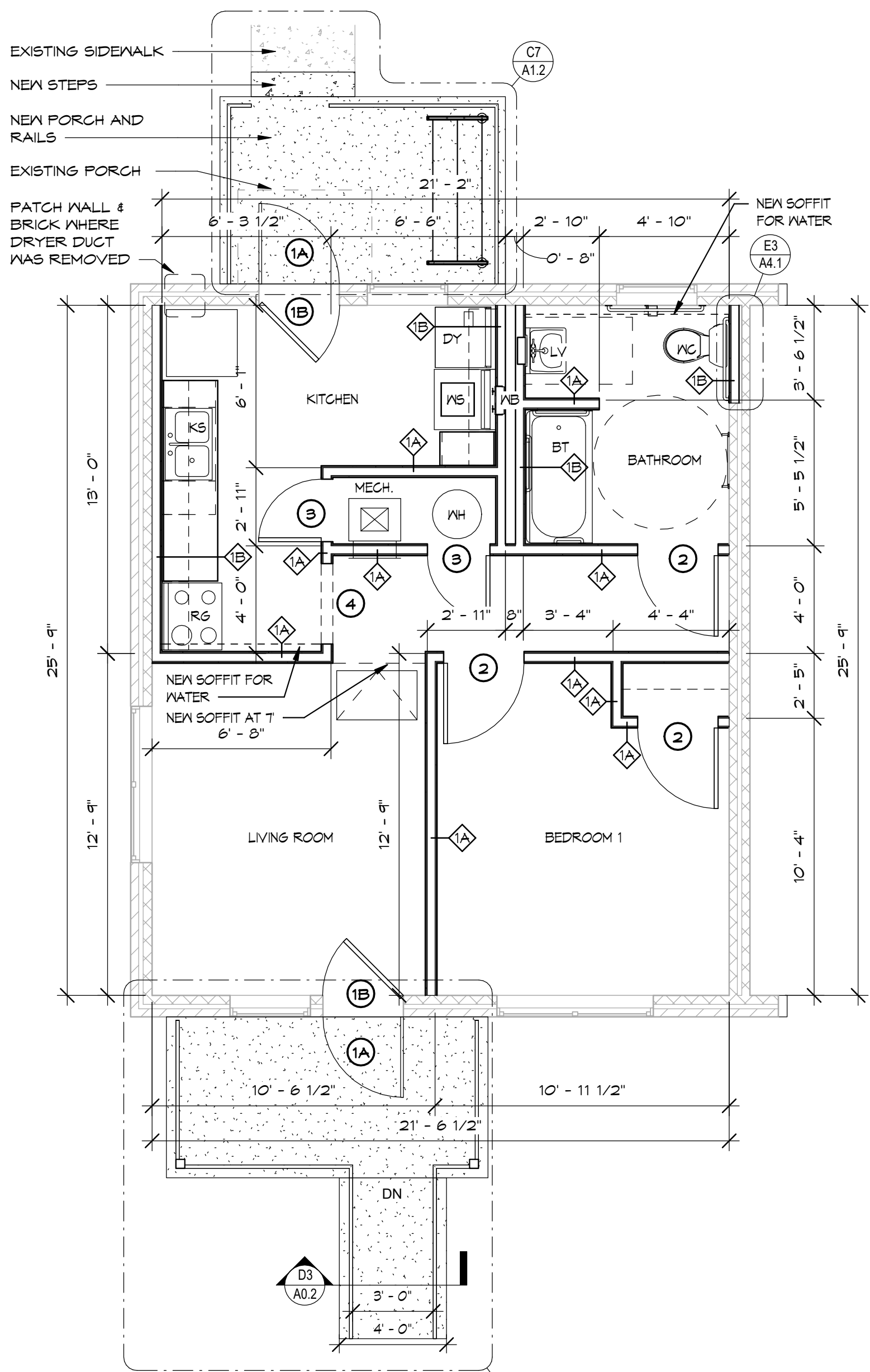
EXISTING PORCH FOOTPRINT

NEW HANDICAP
CLOTHES POLE



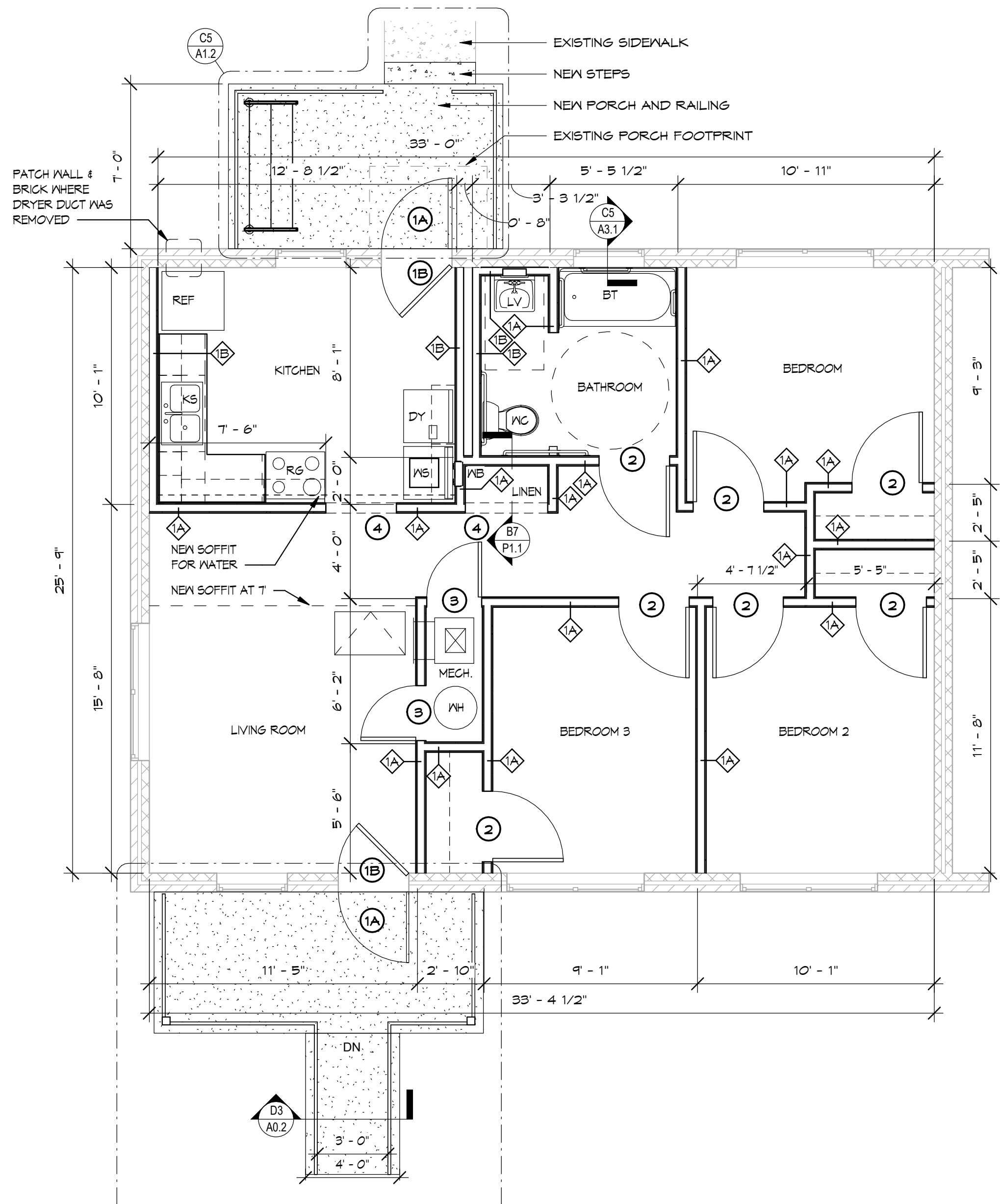
C7 1BR HANDICAP REAR PORCH

1/2" = 1'-0"



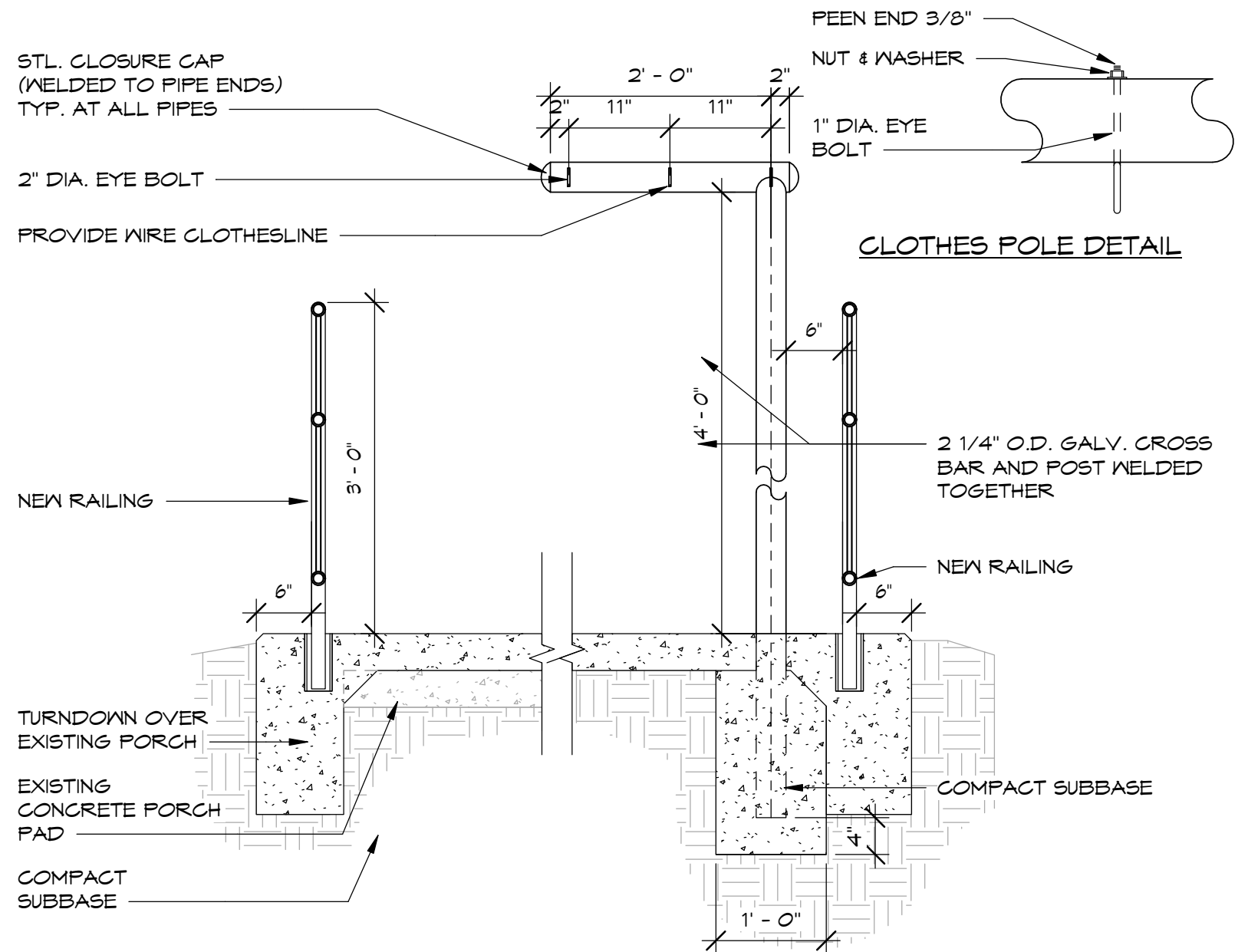
F1 1BR HC UNIT - NEW

1/4" = 1'-0"



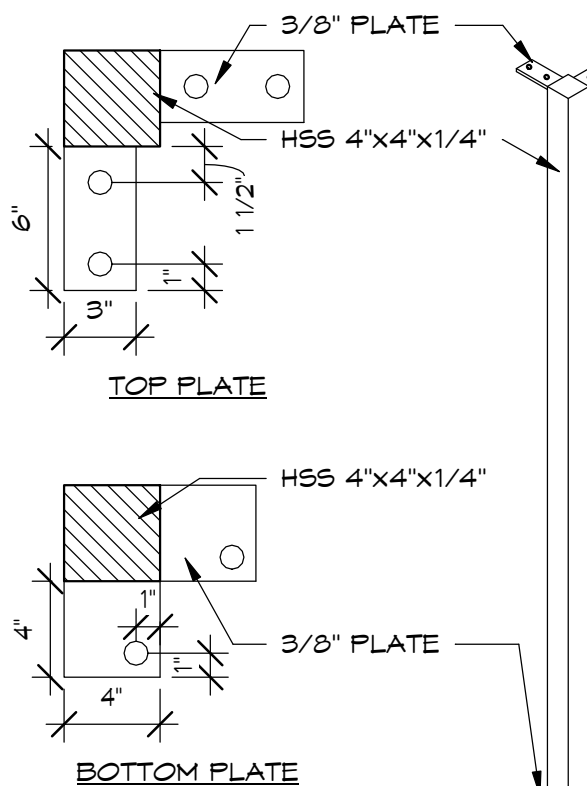
F3 3BR HC UNIT - NEW

1/4" = 1'-0"



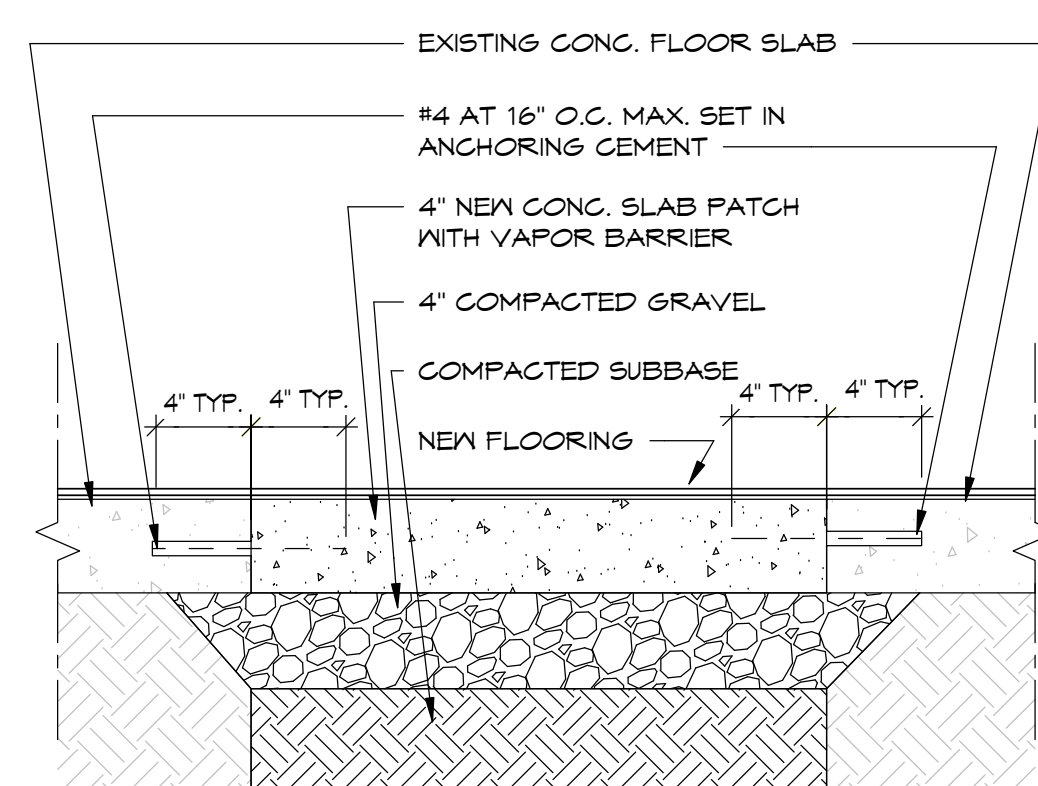
E6 REAR PORCH SECTION DETAIL

3/4" = 1'-0"



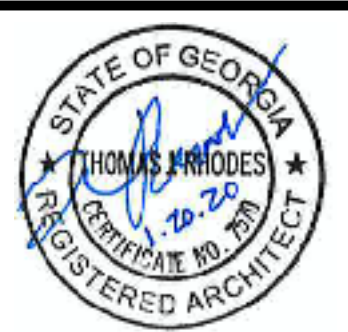
F6 PLATE DETAIL

1 1/2" = 1'-0"



F7 SLAB REPAIR DETAIL

1 1/2" = 1'-0"



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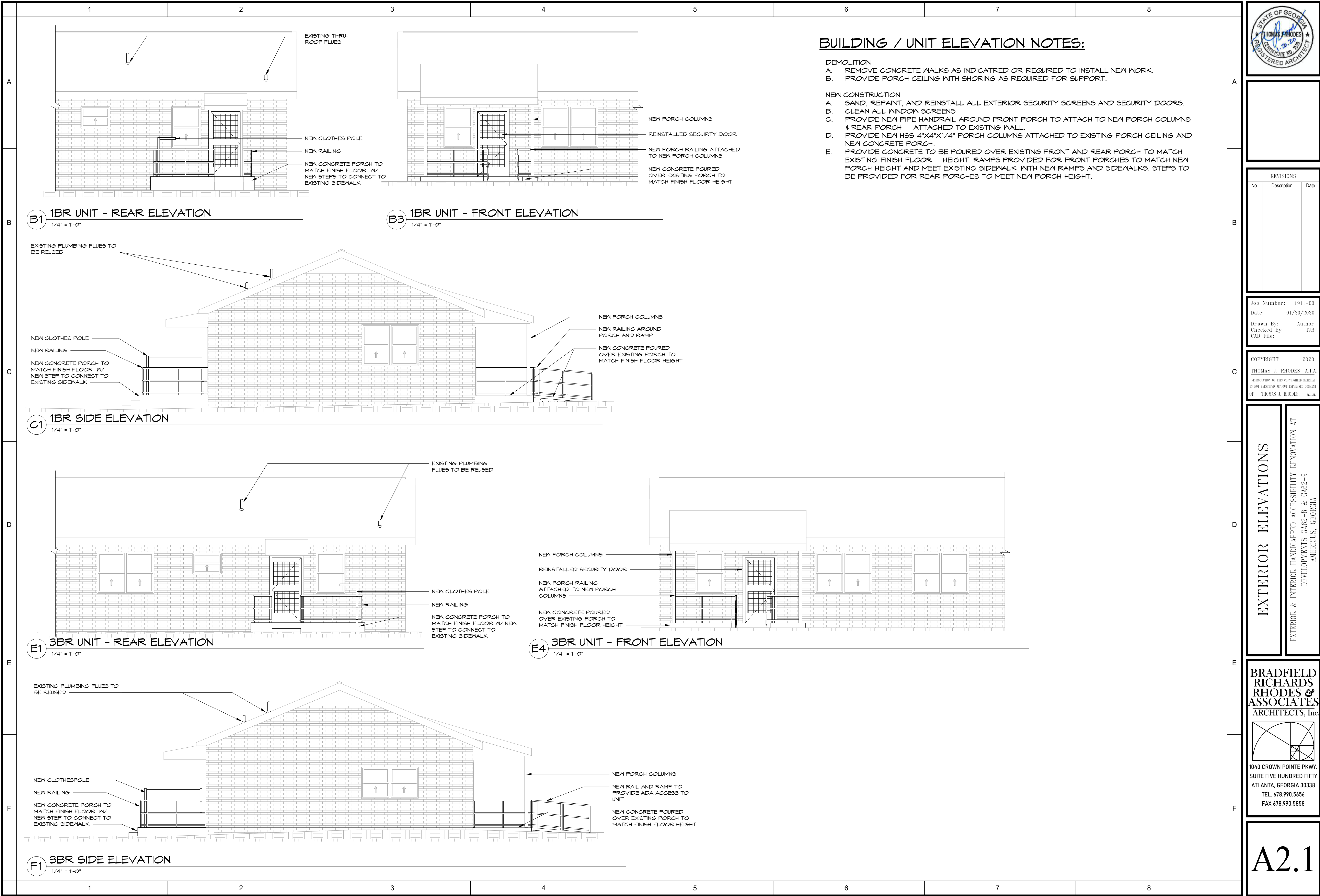
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NEW CONSTRUCTION - FLOOR
PLANS AND NOTES
EXTERIOR & INTERIOR HANDICAPPED ACCESSIBILITY RENOVATION AT
DEVELOPMENTS G462-8 & G462-9
AMERICUS, GEORGIA

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A1.2



BUILDING / UNIT ELEVATION NOTES:

- DEMOLITION
- A. REMOVE CONCRETE WALKS AS INDICATED OR REQUIRED TO INSTALL NEW WORK.
 - B. PROVIDE PORCH CEILING WITH SHORING AS REQUIRED FOR SUPPORT.
- NEW CONSTRUCTION
- A. SAND, REPAINT, AND REINSTALL ALL EXTERIOR SECURITY SCREENS AND SECURITY DOORS.
 - B. CLEAN ALL WINDOW SCREENS
 - C. PROVIDE NEW PIPE HANDRAIL AROUND FRONT PORCH TO ATTACH TO NEW PORCH COLUMNS & REAR PORCH ATTACHED TO EXISTING WALL.
 - D. PROVIDE NEW HSS 4"x4"x1/4" PORCH COLUMNS ATTACHED TO EXISTING PORCH CEILING AND NEW CONCRETE PORCH.
 - E. PROVIDE CONCRETE TO BE POURED OVER EXISTING FRONT AND REAR PORCH TO MATCH EXISTING FINISH FLOOR HEIGHT. RAMPs PROVIDED FOR FRONT PORCHES TO MATCH NEW PORCH HEIGHT AND MEET EXISTING SIDEWALK WITH NEW RAMPs AND SIDEWALKs. STEPS TO BE PROVIDED FOR REAR PORCHES TO MEET NEW PORCH HEIGHT.

STATE OF GEORGIA
THOMAS J. RHODES
REGISTERED ARCHITECT
EXPIRATION 12-31-2025

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EXTERIOR ELEVATIONS
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A2.1

BATHROOM LEGEND	
1	SHOWER ROD
2	BATHTUB
3	MEDICINE CABINET W/MIRROR
4	TOILET PAPER HOLDER
5	WATERCLOSET
6	36" AND/OR 42" GRAB BAR
7	24" TONEL BAR
8	SHOWER CONTROLS
9	MOUNTED LAVATORY
10	EXISTING WINDOW - PROVIDE NEW SHATTER PROOF FILM
11	SHOWER HEAD
12	12" SHOWER GRAB BAR
13	24" SHOWER GRAB BAR
14	2X8 BLOCKING

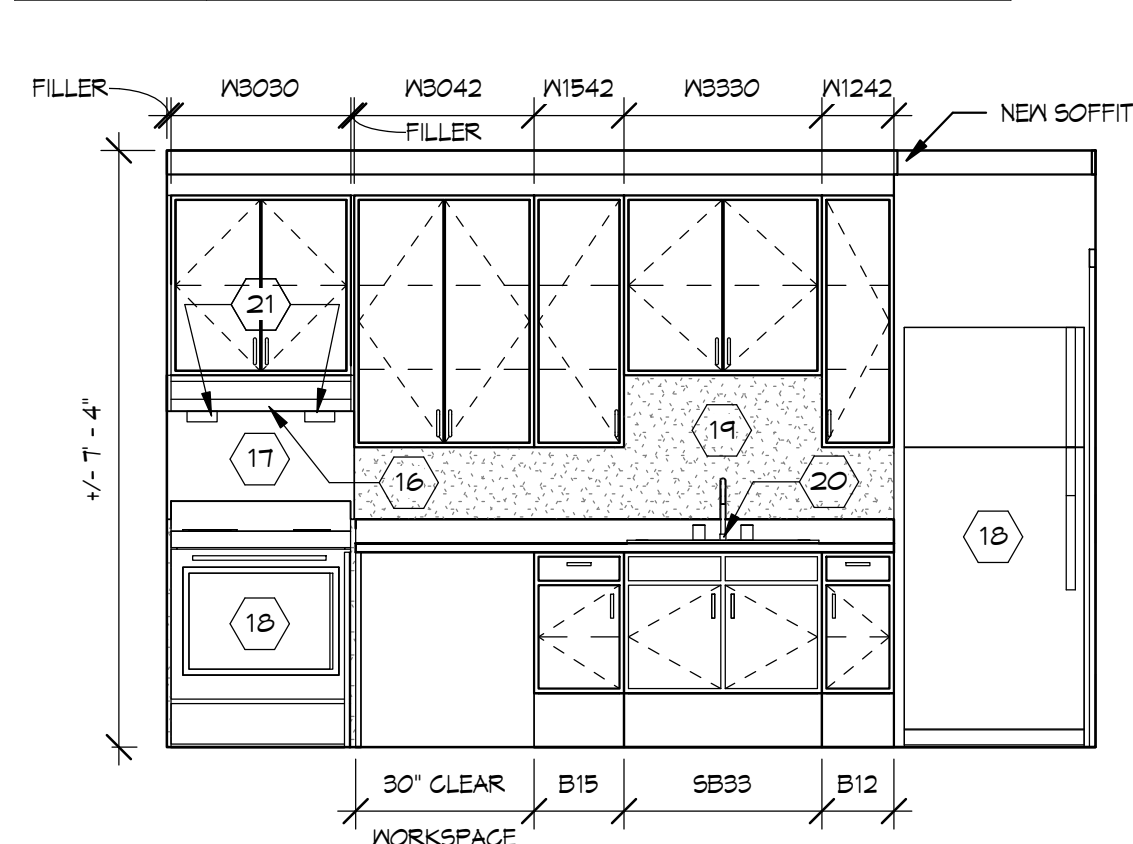
KITCHEN LEGEND	
16	RECIRCULATING RANGEHOOD
17	STAINLESS STEEL BACKSPLASH AT RANGE
18	APPLIANCES TO BE FURNISHED BY OWNER & INSTALLED BY THE CONTRACTOR WITH MANUFACTURER'S STANDARD ANTI-TIP BRACKET AT RANGE
19	PLASTIC LAMINATE BACKSPLASH
20	STAINLESS STEEL KITCHEN SINK WITH FAUCET
21	STOVE TOP FIRESTOP - WILLIAMS 675-3D
22	WASHER CONNECTIN BOX
23	MOLD AND MOISTURE RESIST. GYP.

AIR SEALING SCHEDULE

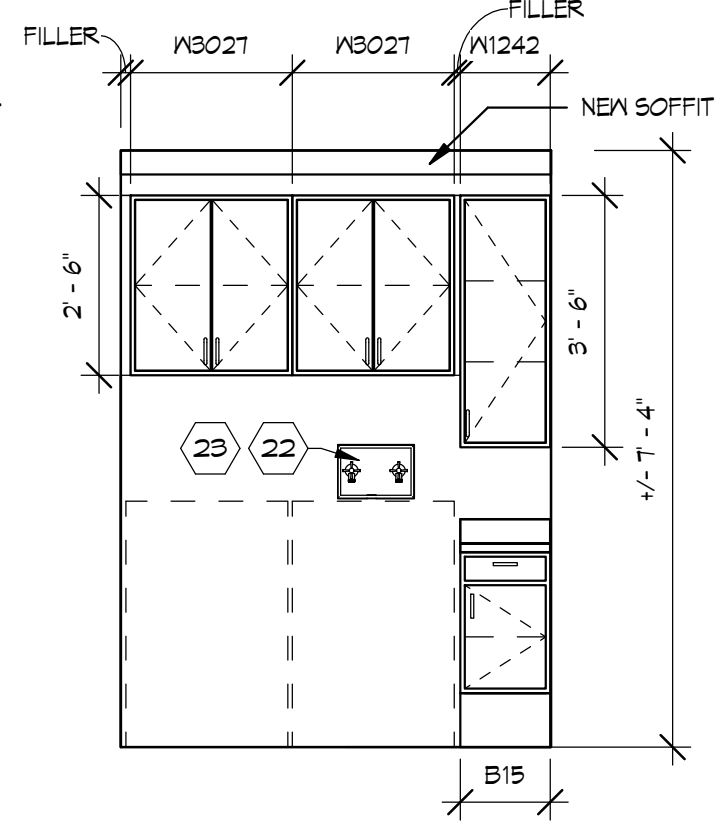
- 1 GLUE GYPSUM BOARD TO BOTTOM & TOP PLATE OF EXTERIOR WALL FRAMING
- 2 PROVIDE RAFTER Baffle AND BLOCKING TO PREVENT WIND WASHING OF ATTIC INSULATION
- 3 ON EXTERIOR WALL USE BACKER ROD OR SPRAY FOAM (APPROPRIATE FOR WINDOWS) TO FILL GAPS BETWEEN WINDOW/DOOR FRAMES AND ROUGH OPENINGS
- 4 CAULK EXTERIOR WALL PENETRATIONS FOR REFRIGERATION LINES AND CONDENSATE LINE
- 5 SEAL PLUMBING AND WIRING PEN THROUGH FRAMING AND WALL
- 6 SEAL BATHTUB DRAIN PENETRATIONS
- 7 INSTALL AND SEAL AIR BARRIER BEHIND TUB (AT BACK TOP PERIMETER OF TUB AND BACK BOTTOM PERIMETER OF SURROUND)
- 8 INSTALL VAPOR RETARDER ON INTERIOR SIDE OF ALL INSULATED WALLS
- 9 SEAL GAP BETWEEN ELECTRICAL BOX AND DRYWALL
- 10 SEAL LIGHTS AND BATH VENT FANS TO CEILING DRYWALL
- 11 SEAL HVAC PENETRATIONS
- 12 SEAL CHASES
- 13 AT MECHANICAL AND WATER HEATER CLOSETS DOOR CLOSERS AGAINST SOLID THRESHOLD
- 14 PROVIDE AIR SEAL GASKET ON ATTIC SCUTTLE

GENERAL NOTES:

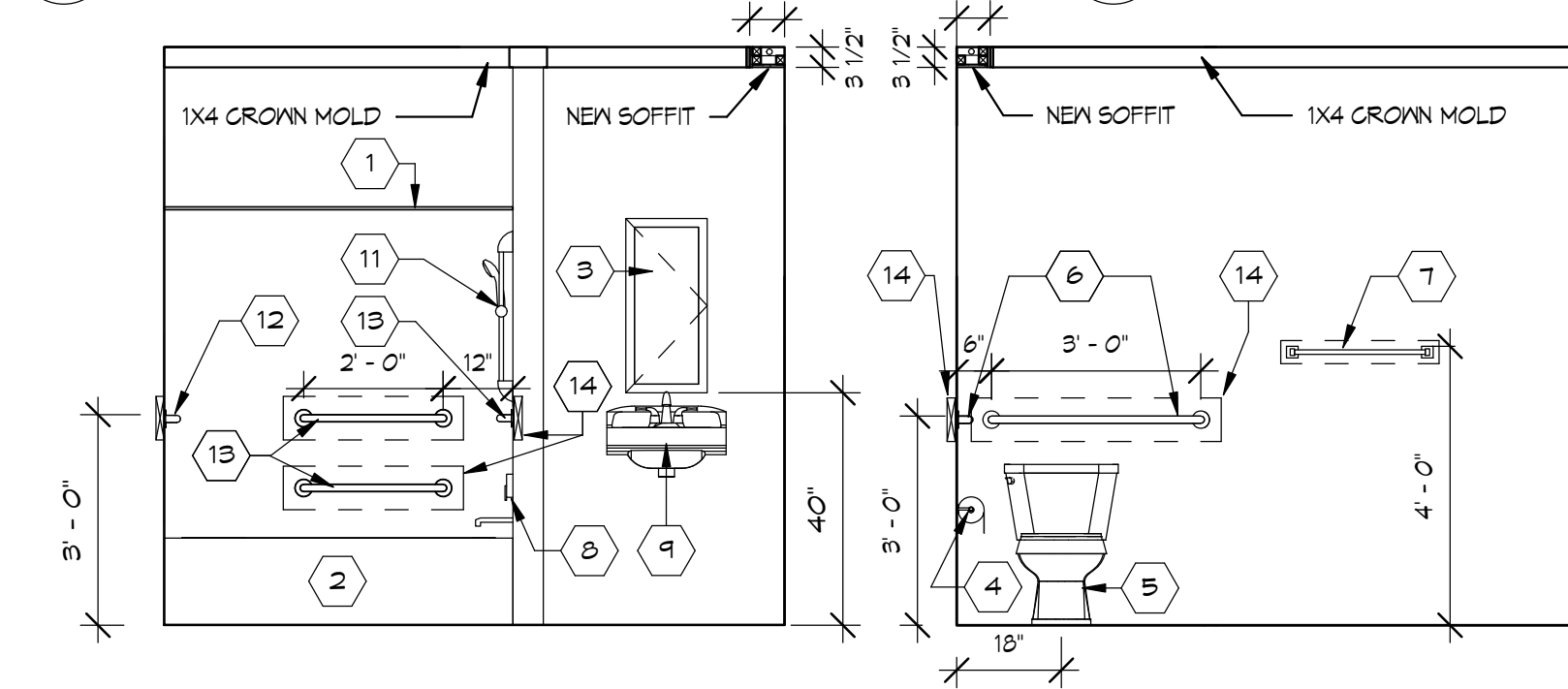
- PROVIDE MOLD AND MOISTURE RESISTANT DRYWALL BATHROOM AND KITCHEN WALLS
- STOVE TOP FIRESTOP TO BE WILLIAMS 675-3D
- KITCHEN COUNTERTOP TO BE SOLID SURFACE
- PROVIDE NEW BATH EXHAUST FAN AND DUCT TO SOFFIT
- PROVIDE RECIRCULATING RANGEHOOD @ SS BACKSPLASH



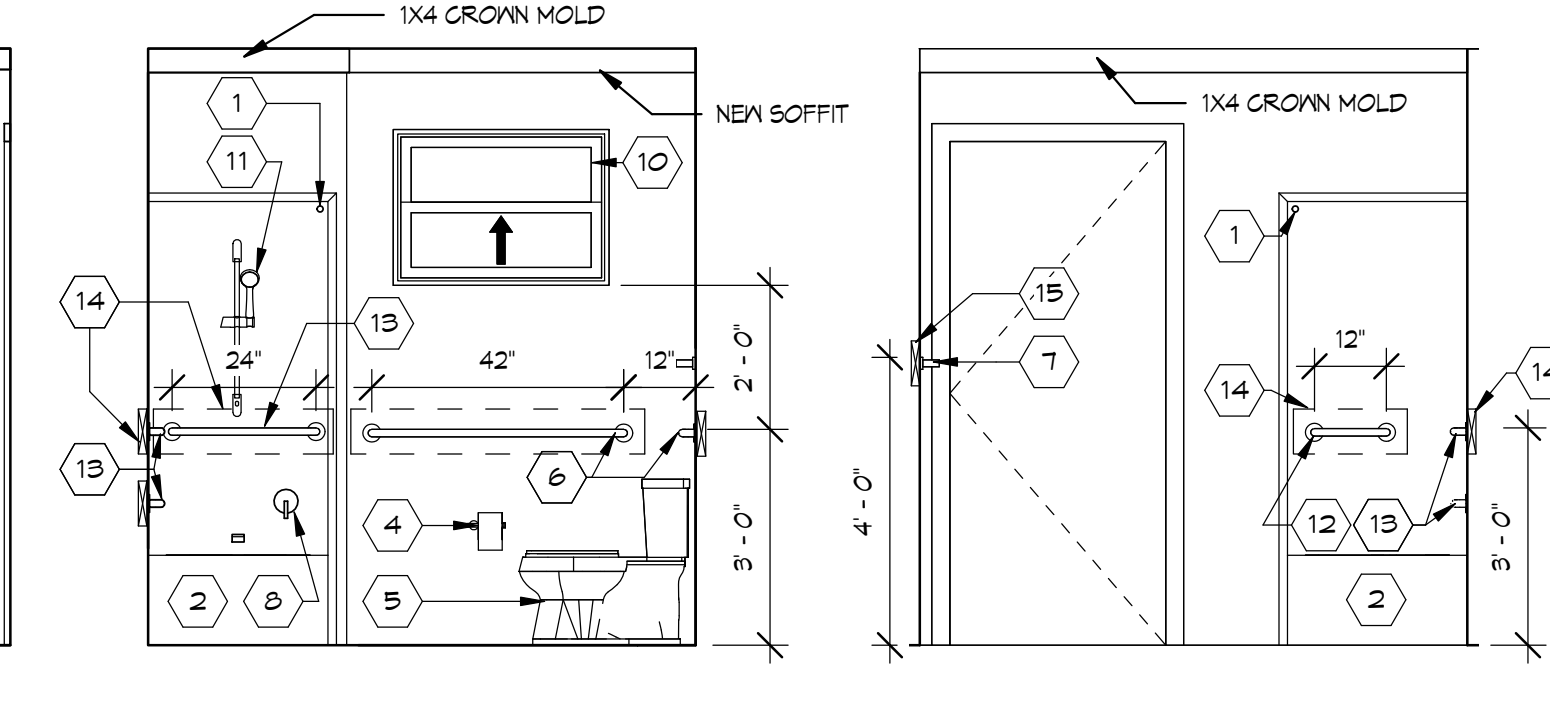
C1 1BR - KITCHEN ELEV.
3/8" = 1'-0"



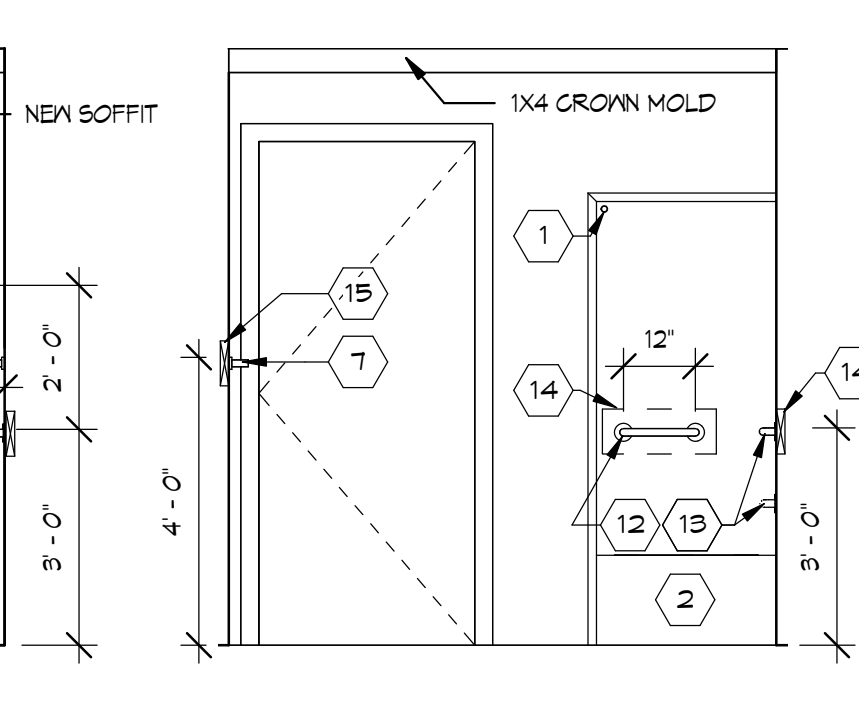
C2 1BR - KITCHEN ELEV.
3/8" = 1'-0"



D1 1BR BATH ELEV.
3/8" = 1'-0"

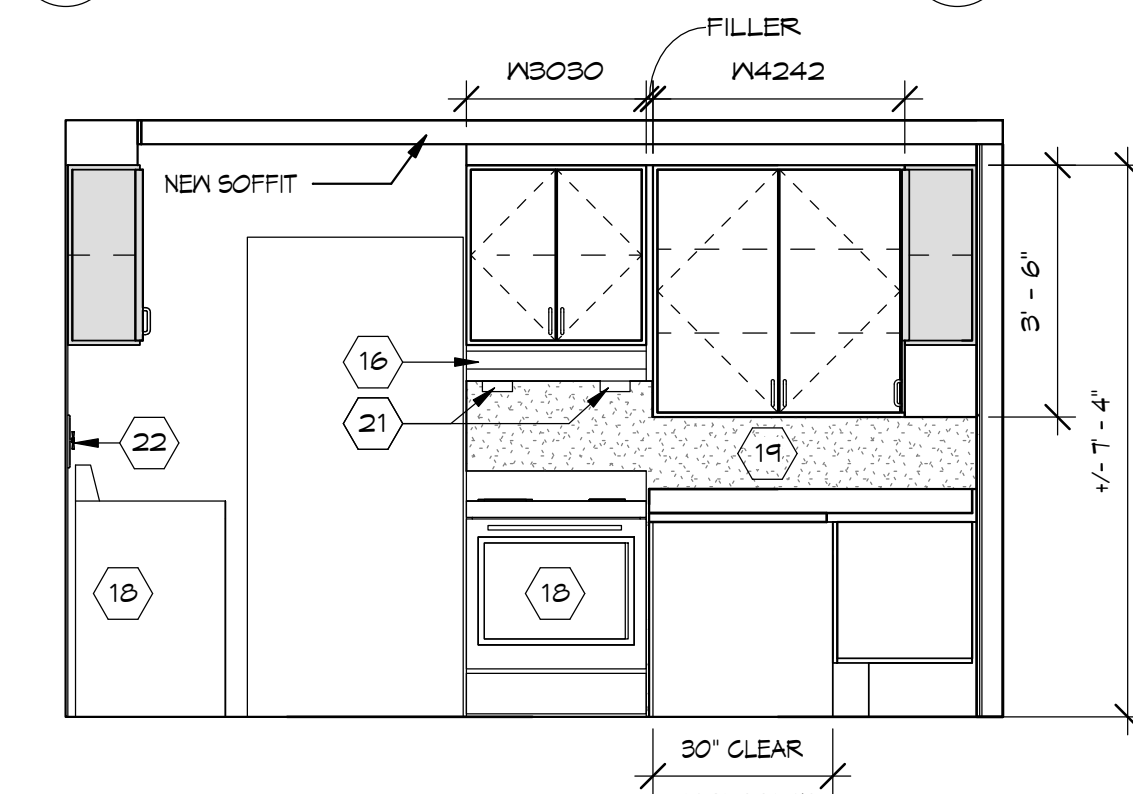


D2 1BR BATH ELEV.
3/8" = 1'-0"

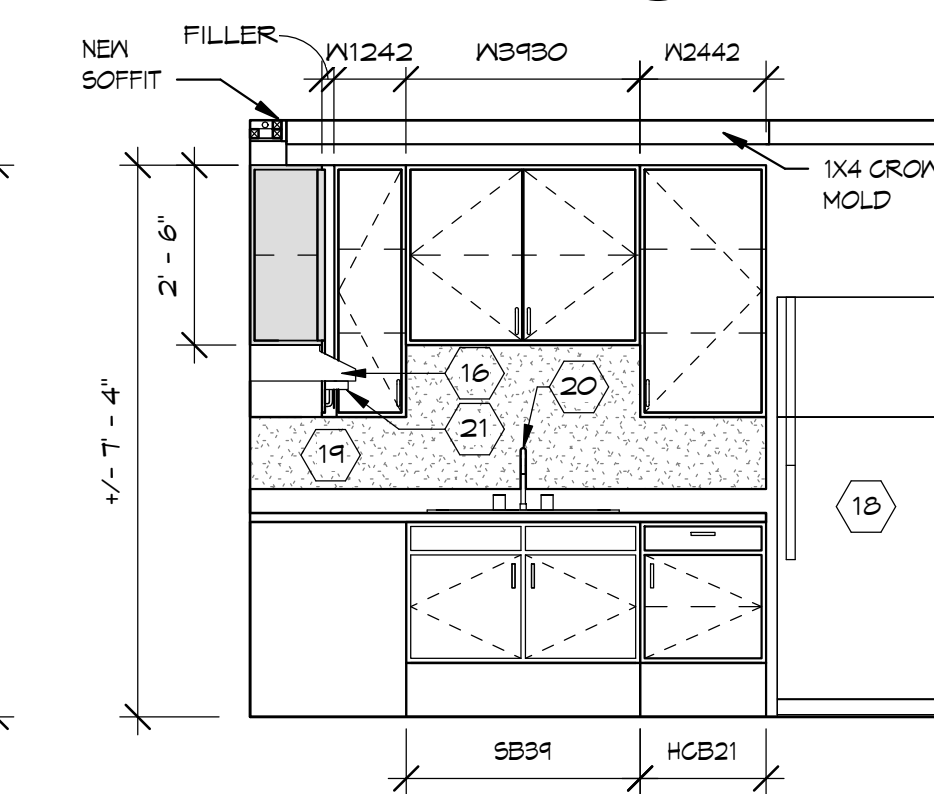


D3 1BR BATH ELEV.
3/8" = 1'-0"

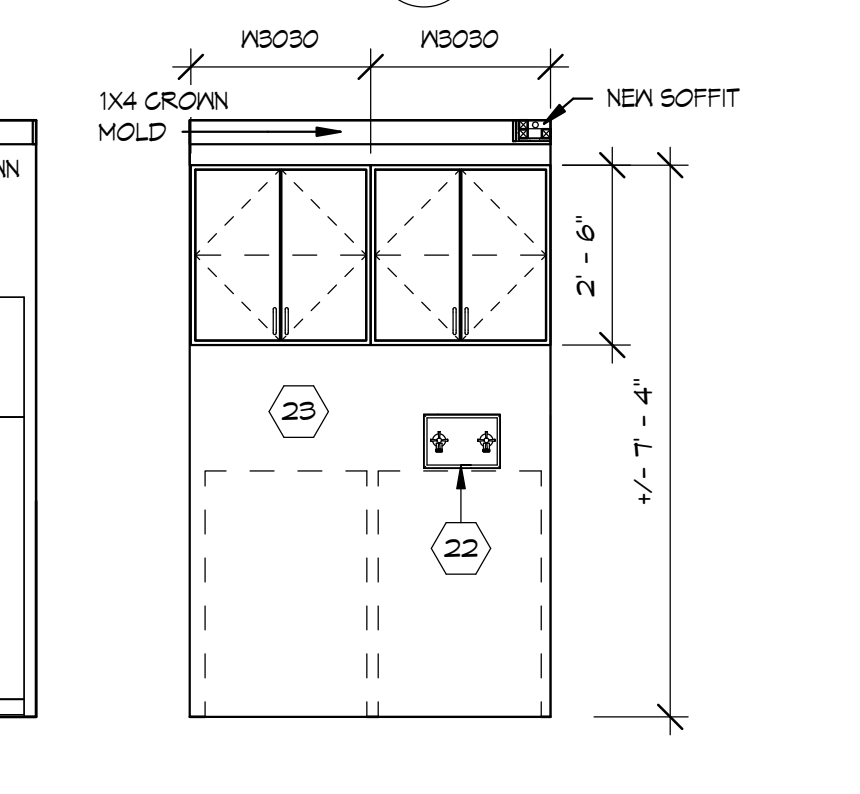
D4 1BR BATH ELEV.
3/8" = 1'-0"



E1 3BR - KITCHEN ELEV.
3/8" = 1'-0"



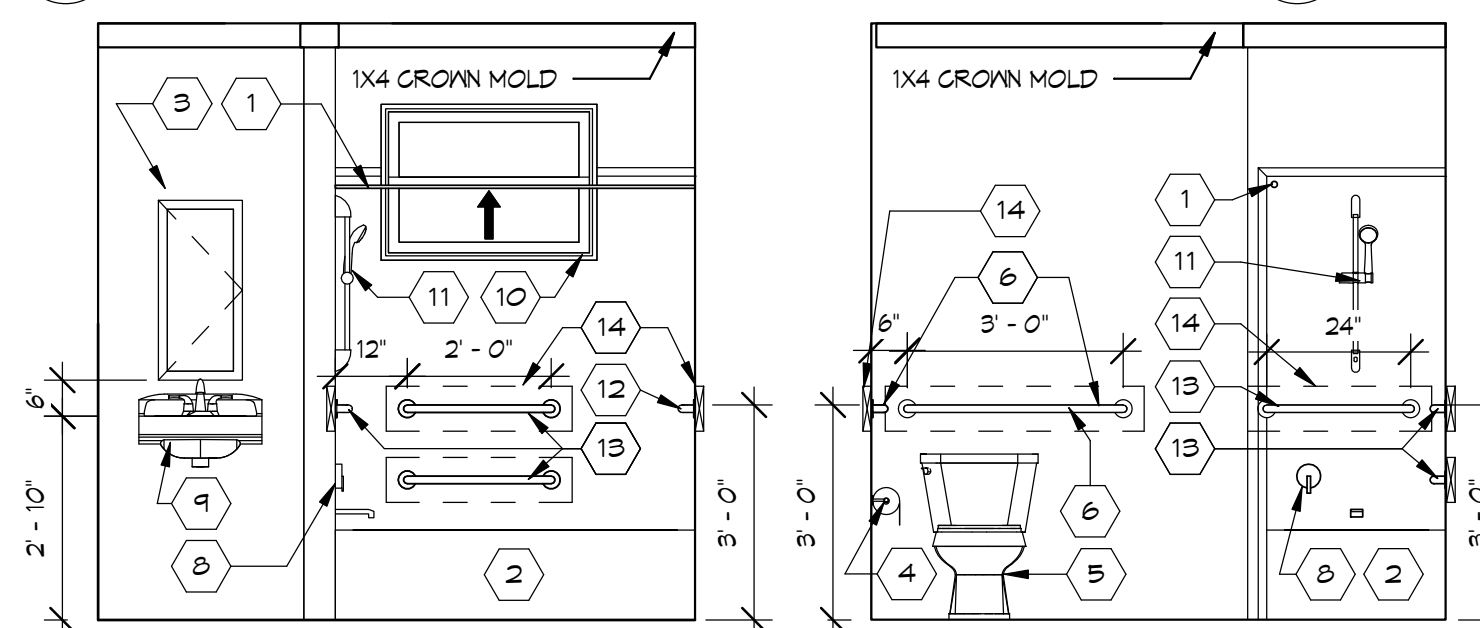
E2 3BR - KITCHEN ELEV.
3/8" = 1'-0"



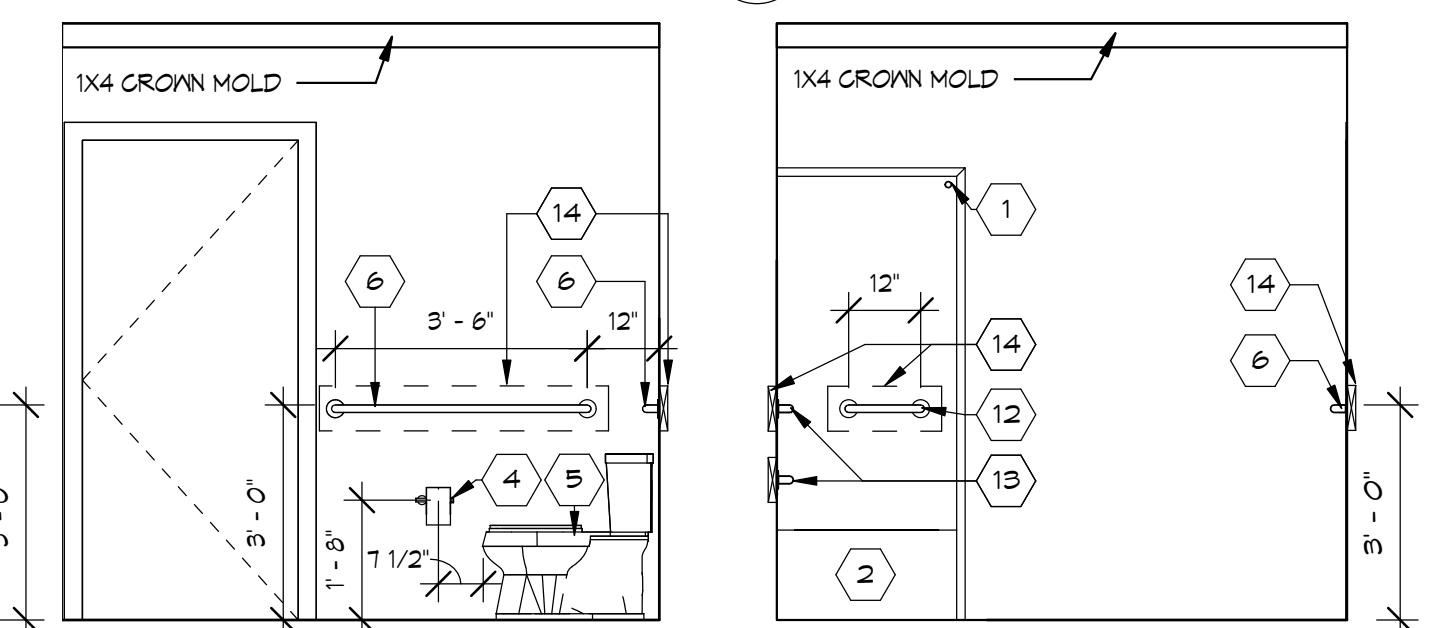
E3 3BR - KITCHEN ELEV.
3/8" = 1'-0"



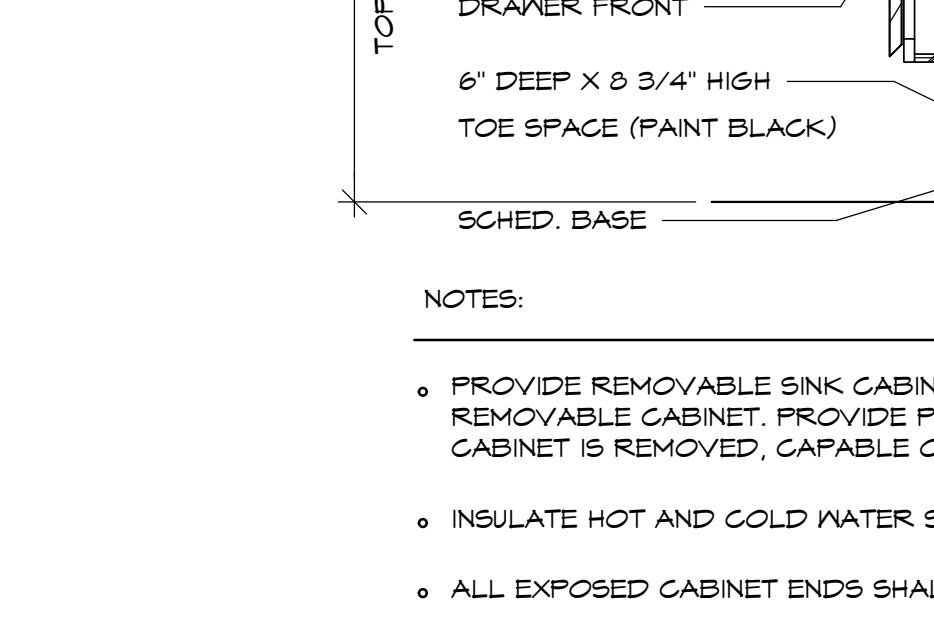
E4 3BR - KITCHEN ELEV.
3/8" = 1'-0"



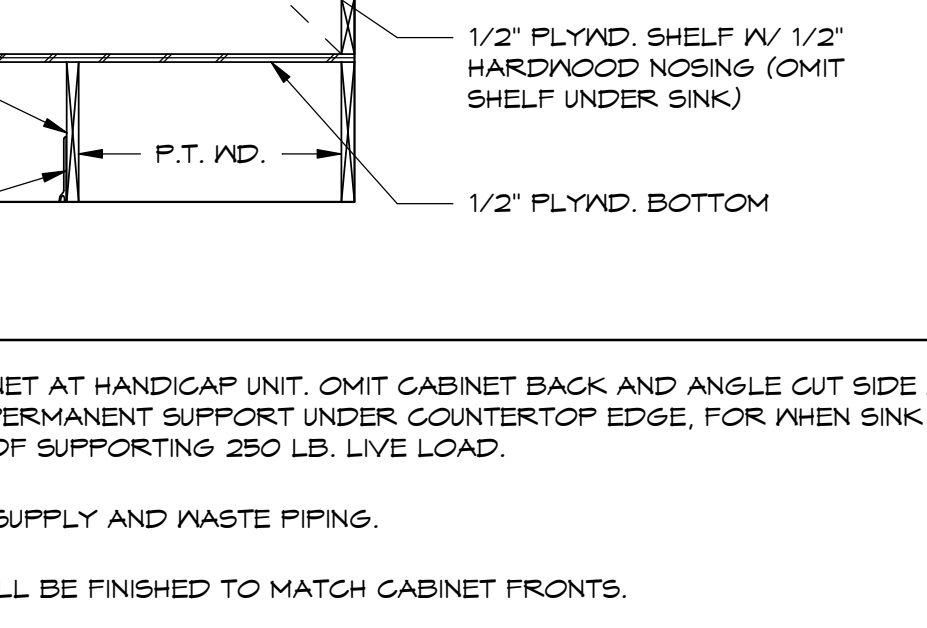
F1 3BR BATH ELEV.
3/8" = 1'-0"



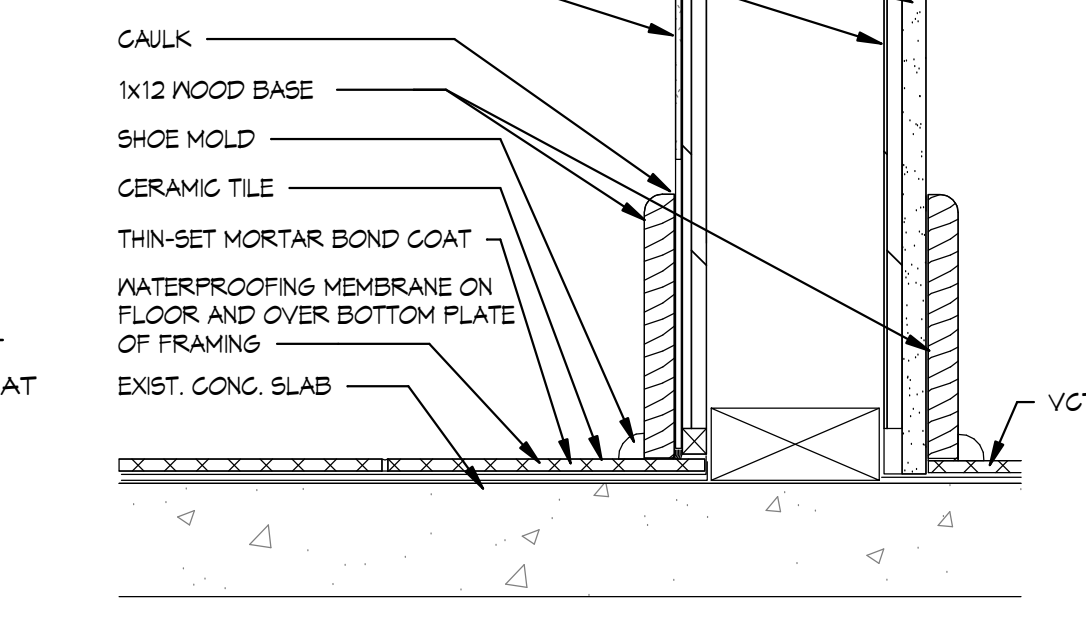
F2 3BR BATH ELEV.
3/8" = 1'-0"



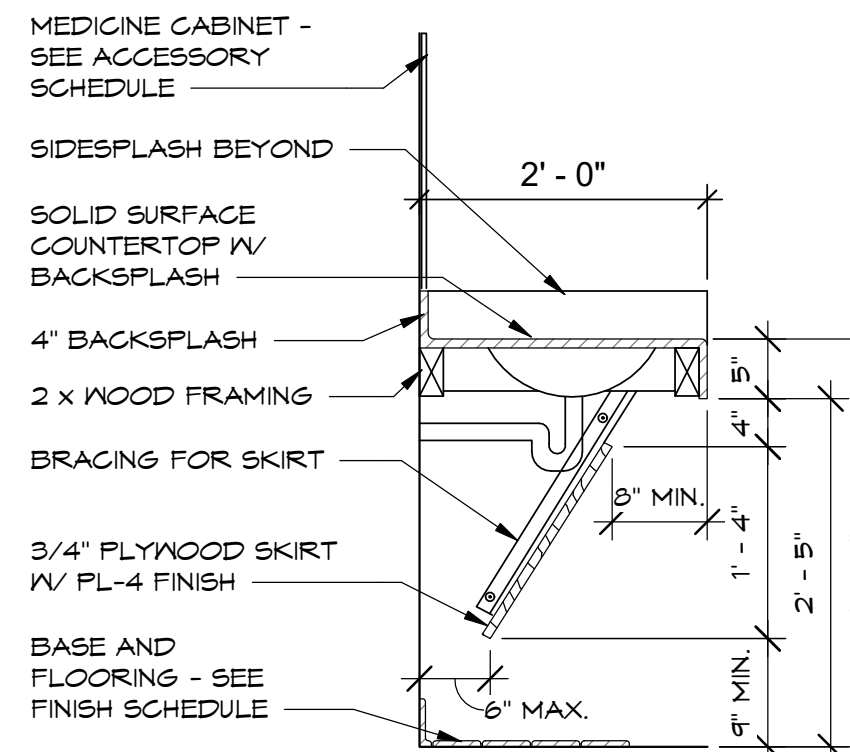
F3 3BR BATH ELEV.
3/8" = 1'-0"



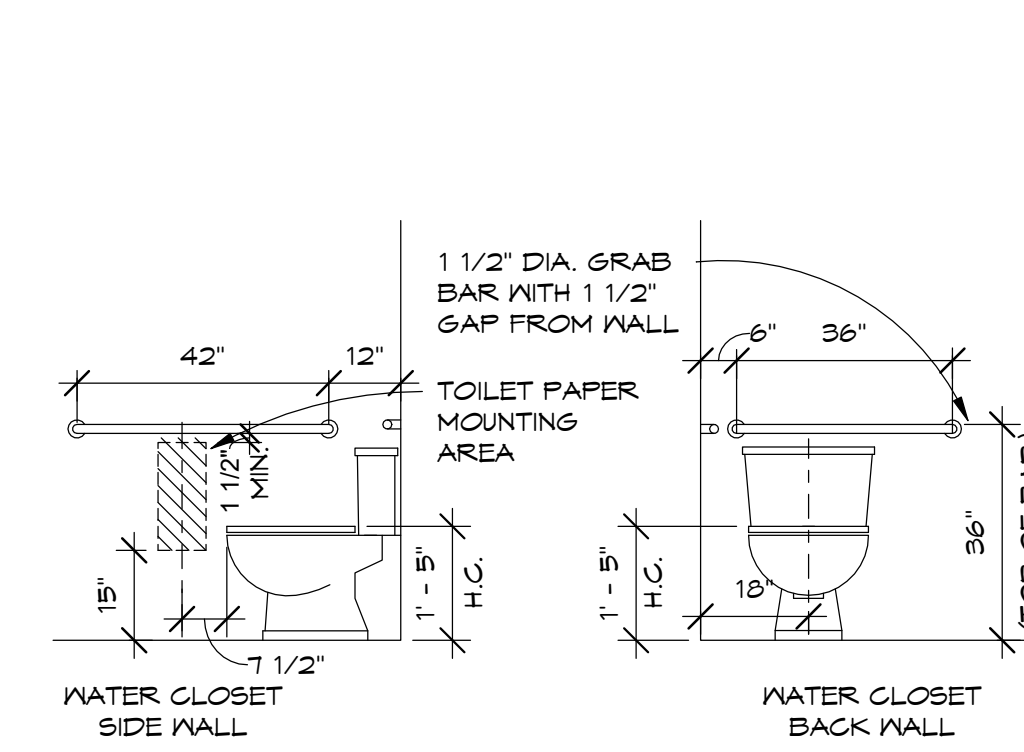
F4 3BR BATH ELEV.
3/8" = 1'-0"



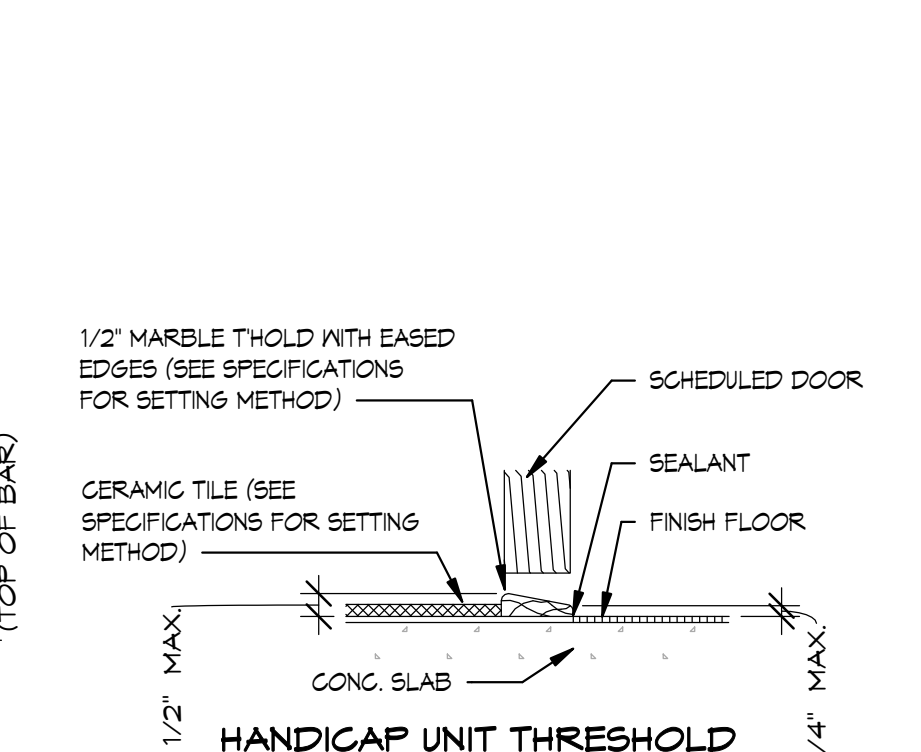
F5 H.C. CABINET DETAIL
1" = 1'-0"



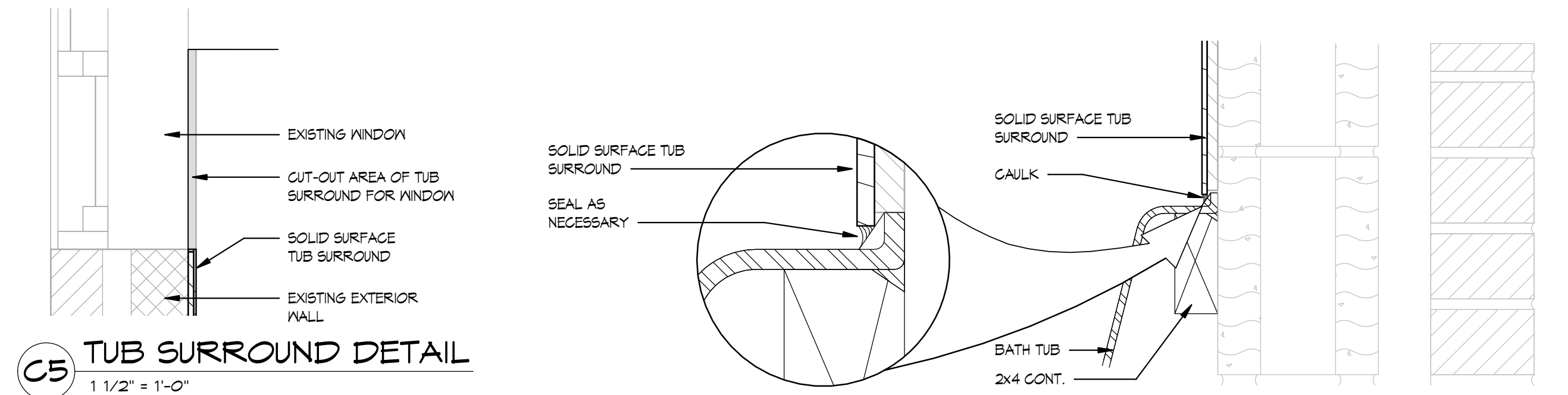
B5 LAVATORY MOUNTING DETAIL
3/4" = 1'-0"



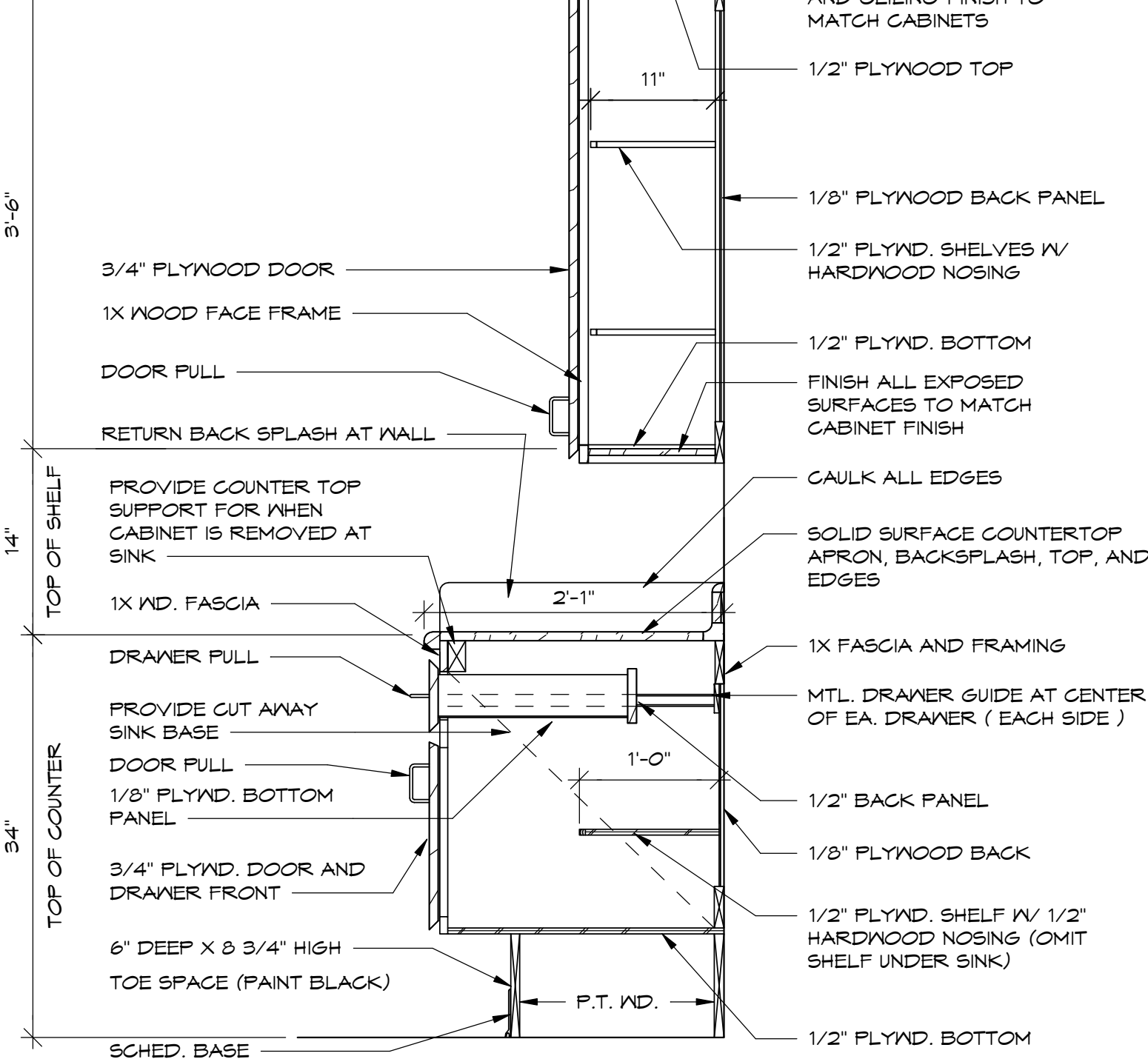
B6 TOILET MOUNTING HEIGHTS
3/8" = 1'-0"



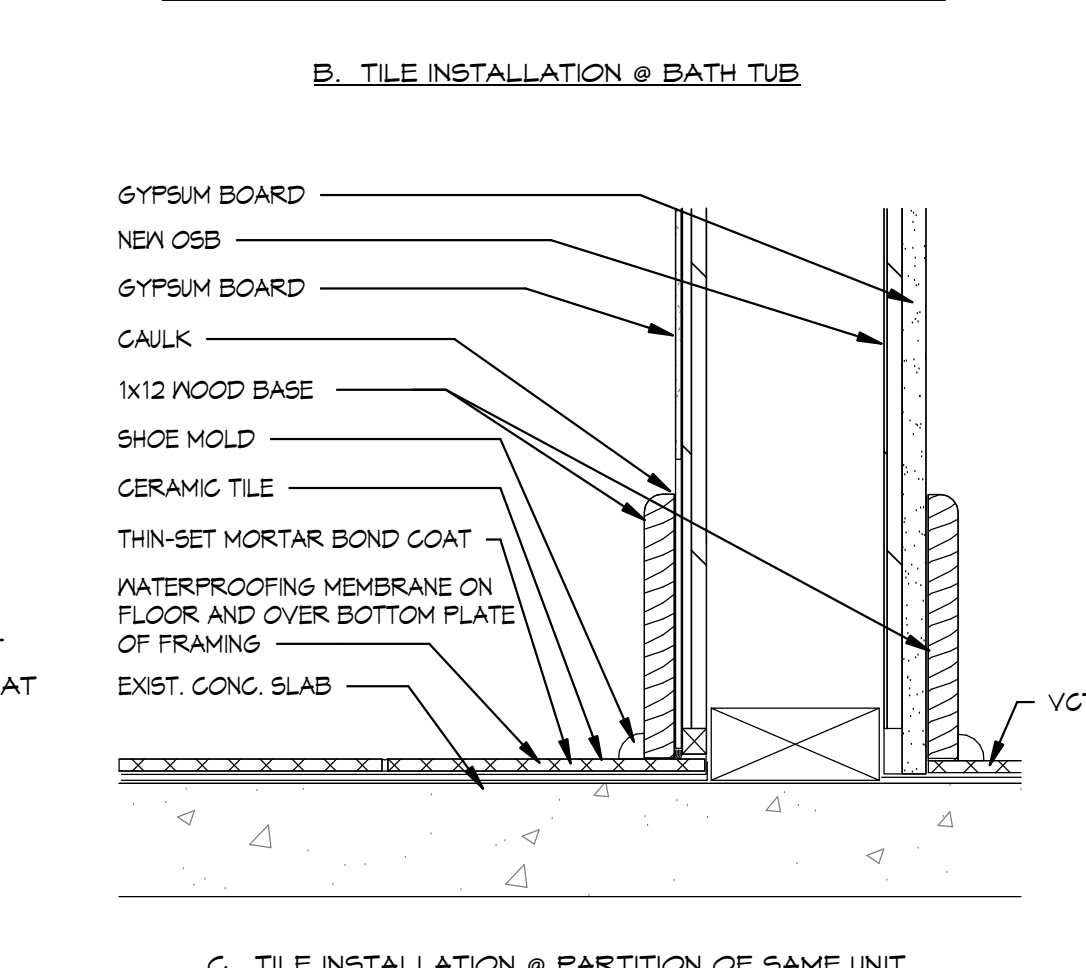
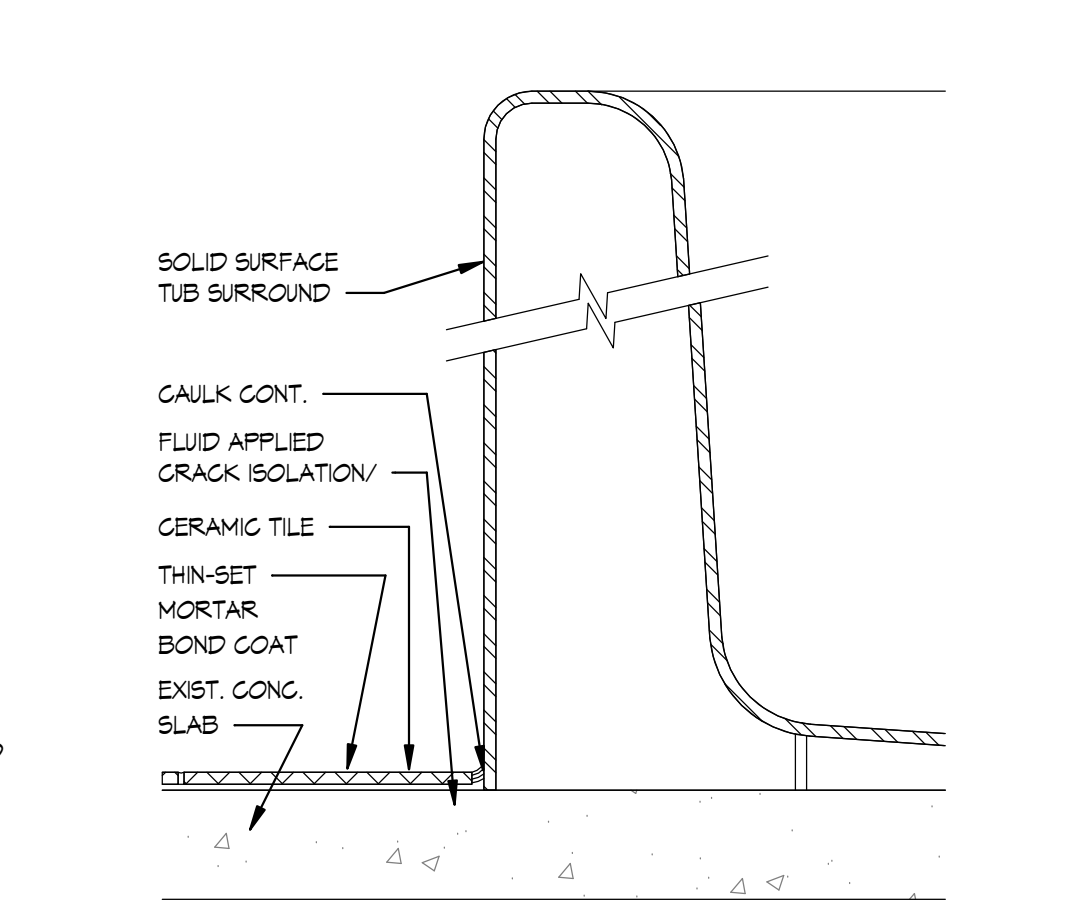
B7 THRESHOLD DETAILS
3" = 1'-0"



C5 TUB SURROUND DETAIL
1 1/2" = 1'-0"



- NOTES:
- PROVIDE REMOVABLE SINK CABINET AT HANDICAP UNIT. OMIT CABINET BACK AND ANGLE CUT SIDE AT REMOVABLE CABINET. PROVIDE PERMANENT SUPPORT UNDER COUNTERTOP EDGE, FOR WHEN SINK CABINET IS REMOVED, CAPABLE OF SUPPORTING 250 LB. LIVE LOAD.
 - INSULATE HOT AND COLD WATER SUPPLY AND WASTE PIPING.
 - ALL EXPOSED CABINET ENDS SHALL BE FINISHED TO MATCH CABINET FRONTS.
 - NO PARTICLE BOARD WILL BE ALLOWED @ CABINET CONSTRUCTIONS.



STATE OF GEORGIA
THOMAS J. RHODES, AIA
REGISTERED ARCHITECT

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No.	Description	Date

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INTERIOR ELEVATIONS
EXTERIOR & INTERIOR HANDICAPPED ACCESSIBILITY RENOVATION AT
DEVELOPMENTS G462-8 & G462-9
AMERICUS, GEORGIA

BRADFELD
RHODES &
ASSOCIATES
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1040 CROWN POINTE PKWY.
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A3.1

UNIT MECHANICAL NOTES:

1. REMOVE EXISTING RANGE HOODS, EXHAUST FANS AND DUCT WORK. PROPERLY DISPOSE OF ALL DEMOLISHED MATERIAL IN AN ACCEPTABLE LANDFILL OFF SITE. REMOVE AND SALVAGE EXISTING AIR HANDLER AND COOLING COILS FOR REINSTALLATION.
2. COORDINATE HVAC WORK WITH OTHER TRADES PRIOR TO START OF WORK. NOTIFY ARCHITECT IF CONFLICTS OCCUR. PROVIDE NEW REFRIGERANT LINES, INSULATED WITH 1" CLOSED CELL FOAM INSULATION, AND MAKE CONNECTIONS AT RELOCATED AIR HANDLER AND EXISTING HEAT PUMP. PROVIDE NEW FULL SIZED EXTERNALLY INSULATED METAL SUPPLY PLENUM, DUCT, AND REGISTER BOOTS. PROVIDE NEW INTERNALLY LINED METAL RETURN AIR PLENUMS AND DUCT AS INDICATED ON DRAWINGS. PROVIDE NEW BALANCING DAMPERS IN ALL REGISTER BOOTS. SEAL ALL DUCT SEAMS AND JOINTS WITH MASTIC PRIOR TO INSULATION. ALL DUCT INSULATION SHALL BE STAPLED AND TAPED. ADJUST DUCT DAMPERS AT ALL BRANCH DUCT AND BALANCE TO AIR FLOW INDICATED ON DRAWINGS.
3. PROVIDE NEW CONDENSATE PUMP AT AIR HANDLER. ROUTE CONDENSATE PIPING WITH REFRIGERANT PIPING AND DISCHARGE ONTO GRADE.
4. PROVIDE NEW SUPPLY AND RETURN REGISTERS. SUPPLY REGISTERS SHALL BE HART AND COOLEY 683M OR EQUAL, SIZED AS INDICATED ON DRAWINGS. RETURN REGISTERS SHALL BE HART AND COOLEY 659 OR EQUAL, SIZED AS INDICATED ON DRAWINGS.
5. INSIDE OF ALL SUPPLY REGISTER BOOTS SHALL BE PAINTED BLACK.
6. PROVIDE NEW PROGRAMABLE THERMOSTAT AND CONTROLS FOR INTERFACE BETWEEN HEAT PUMP AND GAS FIRED FURNACE FOR A FULLY OPERATIONAL HVAC SYSTEM. PROVIDE EXTERIOR TEMPERATURE SENSORS AND CONTROLS THAT PREVENT SUPPLEMENTAL HEAT OPERATION WHEN HEAT PUMP CAN MEET HEATING LOAD.
7. PROVIDE NEW STAINLESS STEEL RECIRCULATING TYPE RANGE HOOD AND STAINLESS STEEL BACK-SPLASH.
8. PROVIDE NEW BATH EXHAUST FAN AND GALVANIZED METAL DUCT TO NEW SOFFIT CAP. PROVIDE TRANSITION DUCT AS REQUIRED TO ENTER SOFFIT AND CONNECT TO SOFFIT CAP.

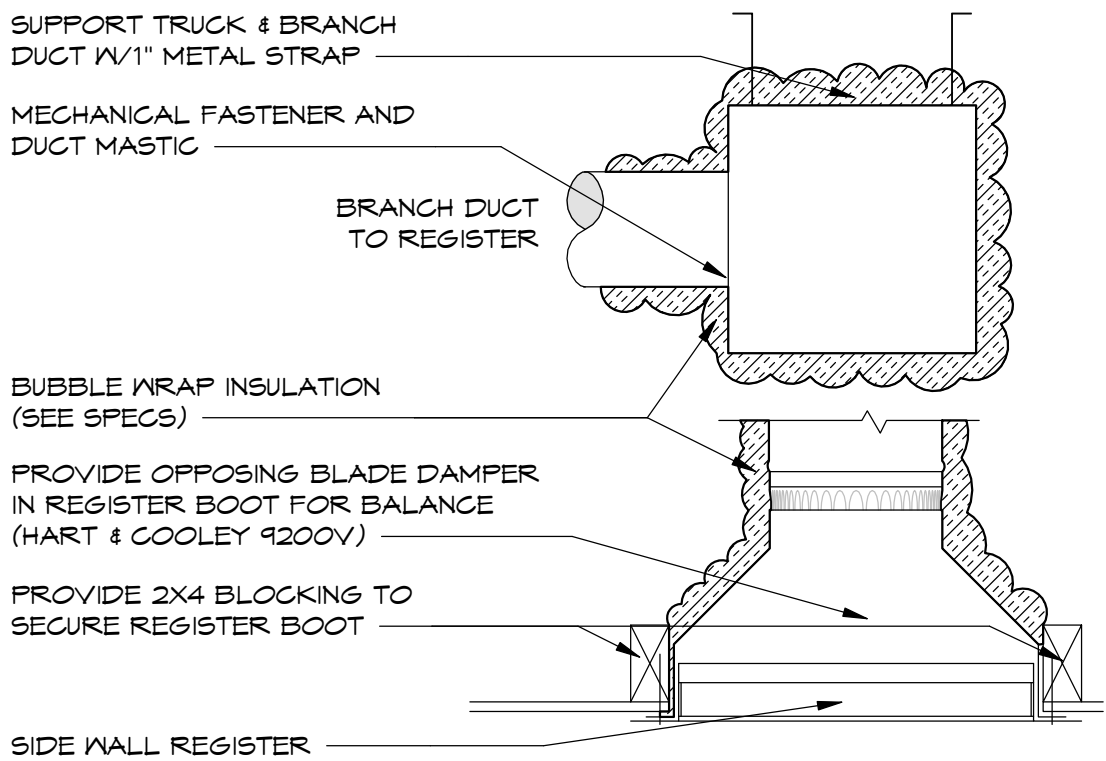
AIR HANDLER SCHEDULE								
Mark	Model	HEAT INPUT MBH	HEAT OUTPUT MBH	Total Supply CFM	Approx. ESP in. WG	Motor HP	AFUE %	Remarks
FU-1	BCS2M24V00NA1P-1	Existing	---	---	---	---	---	1:2
FU-2	BCS2M36V00NA1P-1	Existing	---	---	---	---	---	1:2
1	Provide new refrigerant piping from existing heat pump to new air handler location							
2	Confirm amperage of auxiliary heat and size breaker accordingly							

EXHAUST FAN SCHEDULE								
TAG	BROAN MODEL NUMBER	Location	Type	CFM	SONE	RPM	AMPS	DUCT
EF	L-100	Bathrm.	Ceiling	100	0.9	650	1.1	6"
1	Provide ductwork transition to soffit cap - Size to maintain airflow without restriction							
2	Include soffit cap							

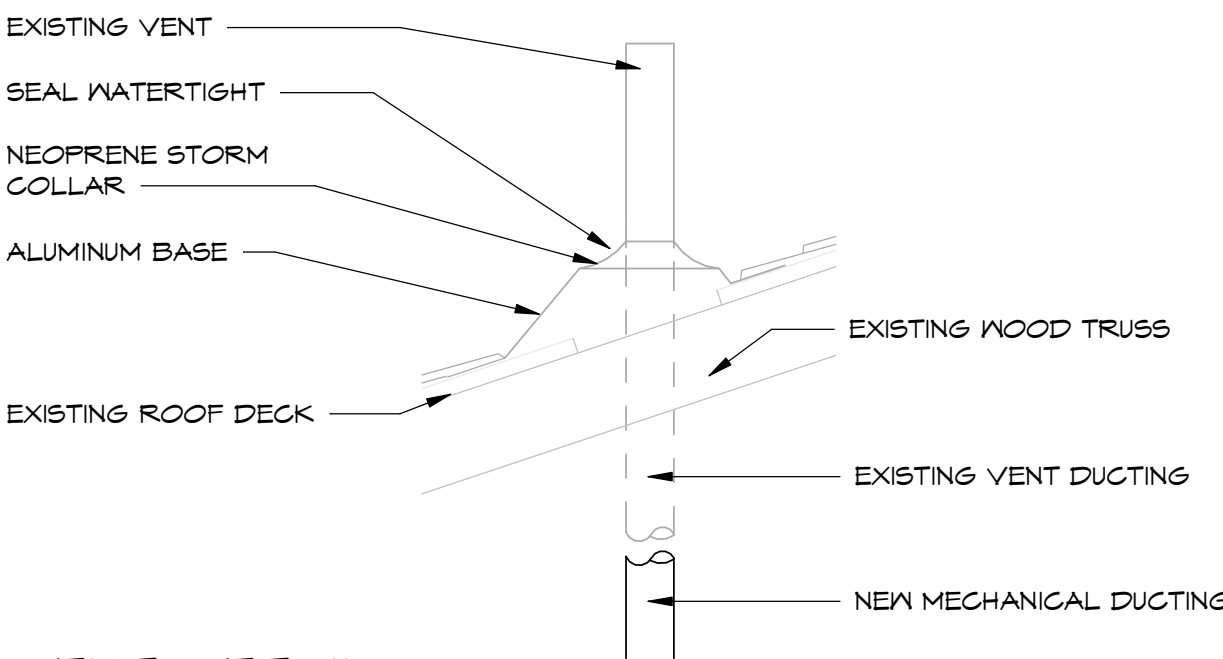
HEAT PUMP SCHEDULE						
MARK	MODEL	TOTAL COOLING MBH	SENSIBLE COOLING MBH	EVAP CFM	INTEGRATED HEATING MBH	REMARKS
HP-1	4HP16LT24P-2	Existing	---	---	---	1:2
HP-2	4HP16LT36P-1	Existing	---	---	---	1:2
1	Provide new refrigerant piping from existing heat pump to new air handler location					
2	Provide new branch wiring from existing exterior disconnect to new loadcenter					

GRILLES, REGISTERS, DIFFUSER SCHEDULE							
TAG	HART & COOLEY MODEL NUMBER	DUTY	NECK SIZE	FACE SIZE	DAMPER	MATERIAL	TYPE
A	683M	SUPPLY	8"	14x8	YES	STEEL	SIDE WALL
B	683M	SUPPLY	6"	12x6	YES	STEEL	SIDE WALL
C	683M	SUPPLY	4"	8x4	YES	STEEL	SIDE WALL
D	659	RETURN	20x16	22x18	NO	STEEL	SIDE WALL

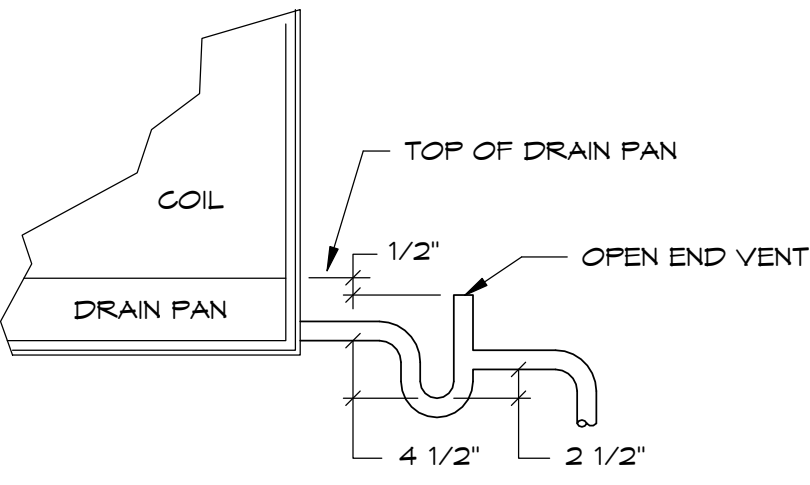
RANGE HOOD SCHEDULE								
TAG	BROAN MODEL NUMBER	Location	Type	CFM	SONE	RPM	AMPS	DUCT
RH	413004	Kitchen	Cabinet	190	6	2750	2	7"
1	Provide Broan SP3004 backsplash							



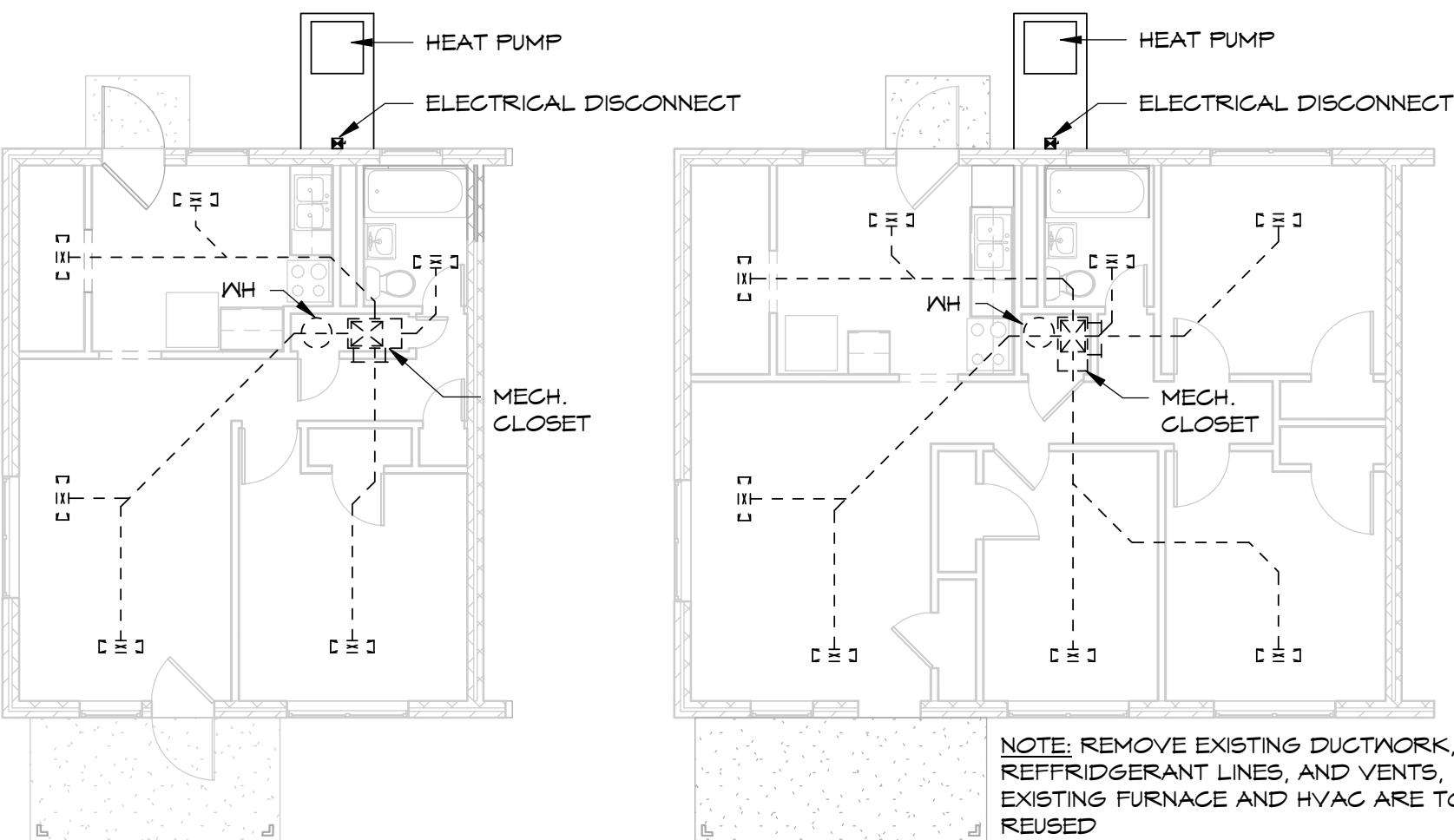
B7 DUCT DETAIL
1 1/2" = 1'-0"



C7 VENT DETAIL
1 1/2" = 1'-0"

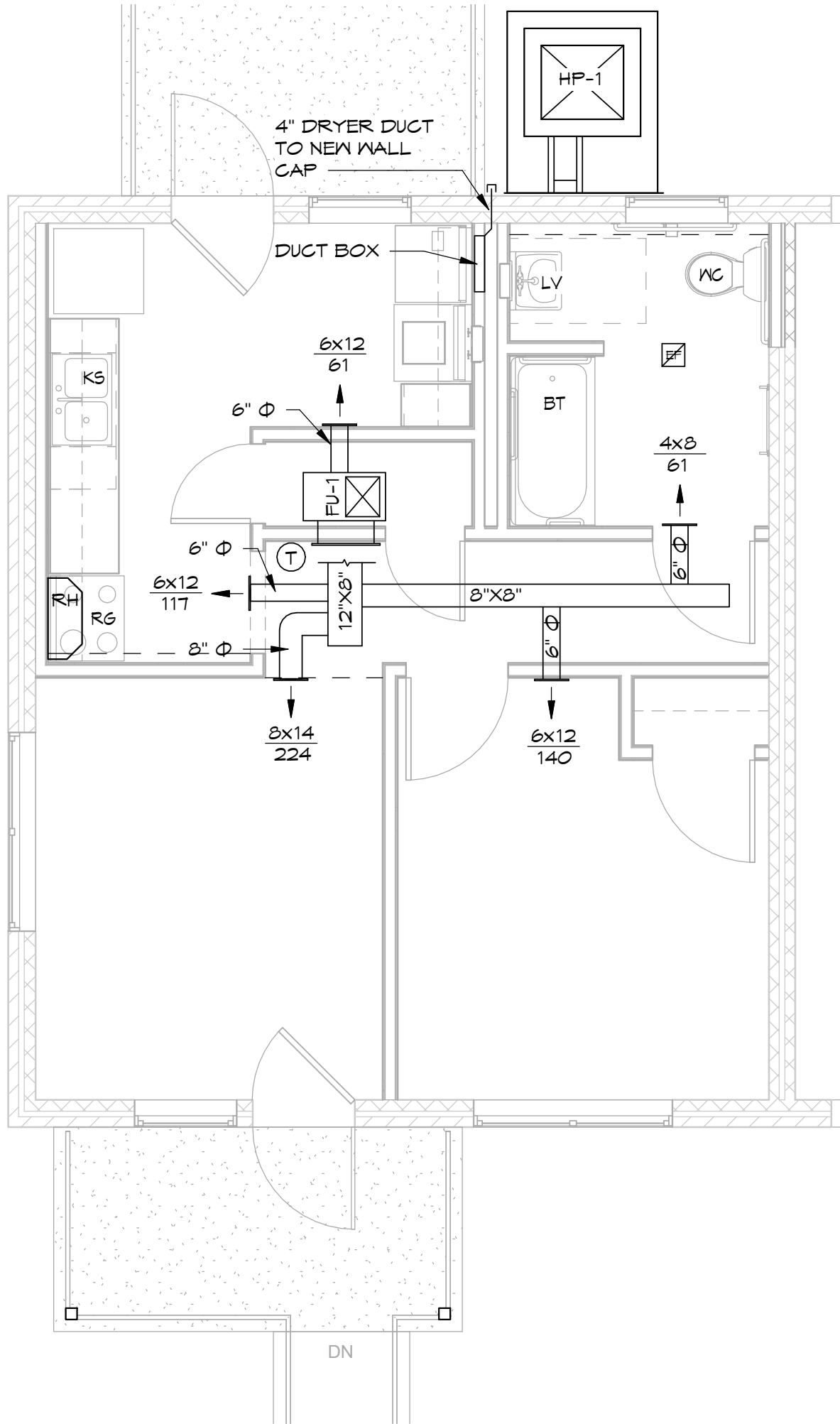


C3 CONDENSATION DRAIN TRAP
1/4" = 1'-0"

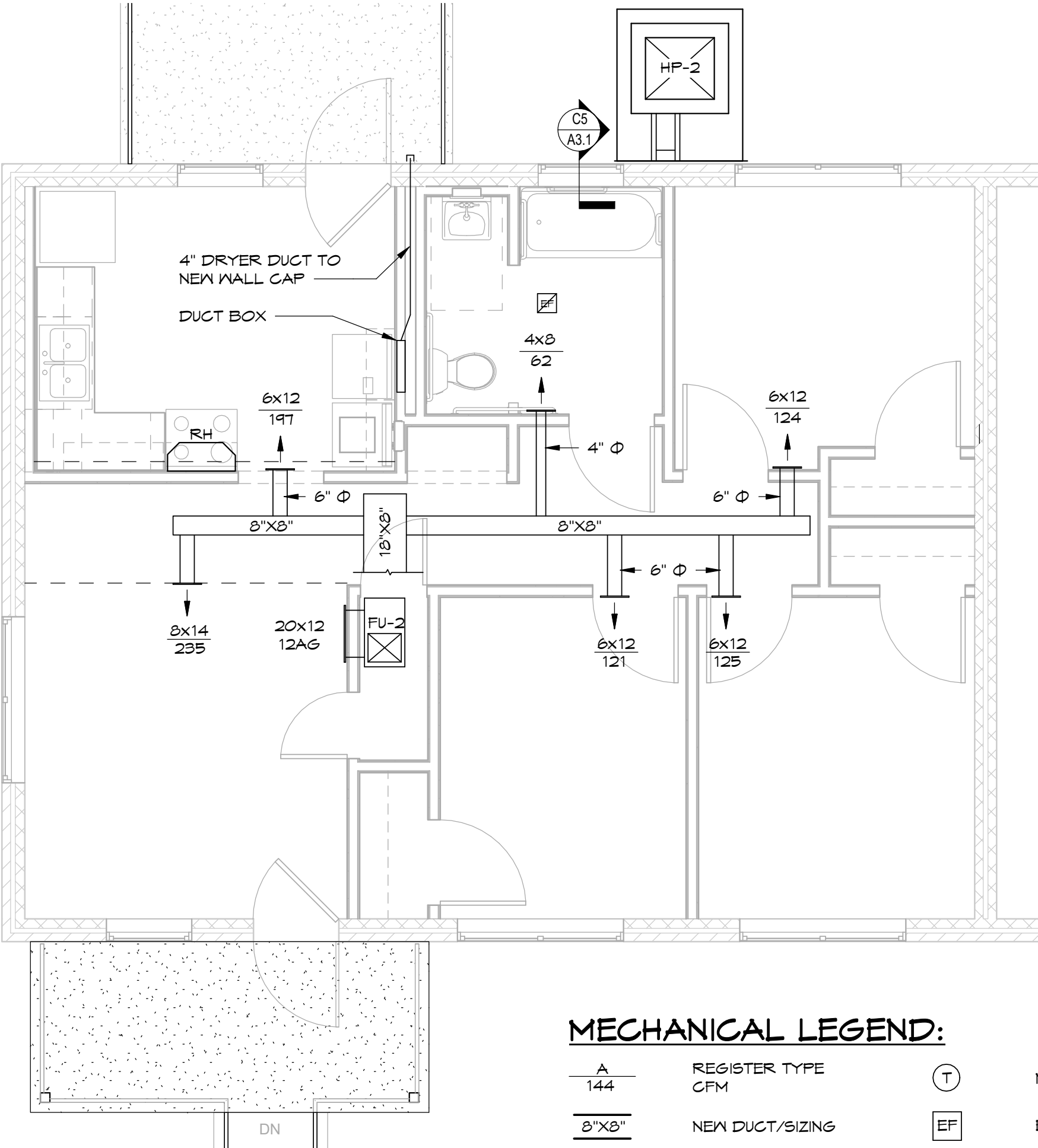


C1 1BR HC - DEMO MECH.
1/8" = 1'-0"

C2 3BR HC - DEMO MECH.
1/8" = 1'-0"



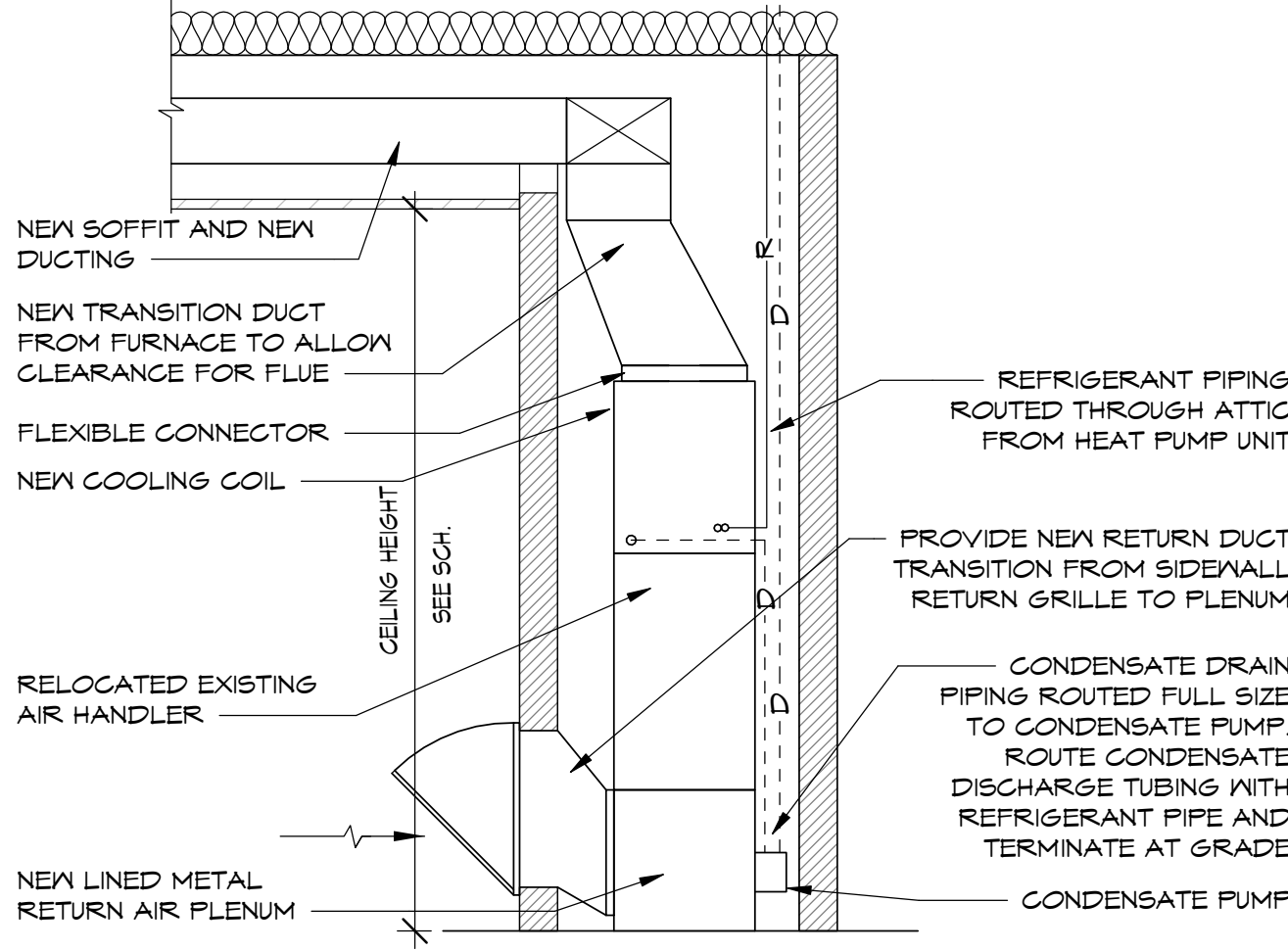
F1 1BR HC - NEW MECH.
1/4" = 1'-0"



F3 3BR HC - NEW MECH.
1/4" = 1'-0"

MECHANICAL LEGEND:

	REGISTER TYPE CFM		NEW THERMOSTAT
	NEW DUCT/SIZING		EXHAUST FAN
	GRILL MARK		RANGE HOOD



F7 MECHANICAL CLOSET DETAIL
1/2" = 1'-0"



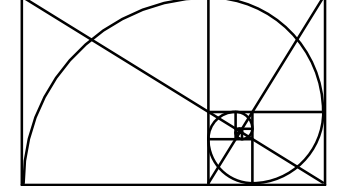
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MECHANICAL PLANS & NOTES
EXTERIOR & INTERIOR HANDICAPPED ACCESSIBILITY RENOVATION AT
DEVELOPMENTS G462-8 & G462-9
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M1.1

GENERAL ELECTRICAL NOTES:

1. REMOVE EXISTING INTERIOR LOADCENTER, BRANCH CIRCUIT WIRING, FIXTURES, DEVICES, CONDUIT AND BOXES. REMOVE EXISTING TELEPHONE AND CATV WIRING, CONDUIT, AND BOXES.
2. COORDINATE ELECTRICAL WORK WITH OTHER TRADES PRIOR TO START OF WORK. NOTIFY ARCHITECT IF CONFLICTS OCCUR.
3. PROVIDE NEW MAIN LUG LOADCENTER INCLUDING NEW CIRCUIT BREAKERS IN LOCATION INDICATED. PROVIDE COMBINATION GFCI / AFCI CIRCUIT BREAKERS AT ALL KITCHEN AND BATH CIRCUITS; PROVIDE AFCI CIRCUIT BREAKERS AT ALL NON-DEDICATED CIRCUITS. LOCATE NEW LOADCENTER AT 12" ABOVE FINISHED FLOOR TO TOP OF PANEL. ELECTRICAL SERVICE INCLUDING SERVICE MAST AND CABLE, EXTERIOR METER BASE, EXTERIOR DISCONNECT, CONDUIT AND PANEL FEEDER CABLE ARE EXISTING TO REMAIN AND ARE TO BE REUSED. EXTEND AND CONNECT EXISTING PANEL FEEDER CABLE TO NEW LOAD CENTER IN NEW OR EXISTING LOCATIONS.
4. PROVIDE NEW NON-METALLIC SHIELDED CABLED FOR ALL BRANCH CIRCUITS TO NEW FIXTURES AND DEVICES. PROVIDE COPPER GROUND TO NEW WATER PIPING AND BOND WIRE AT WATER HEATER PIPING. PROVIDE NEW TELEPHONE AND CATV WIRING FROM EACH NEW RECEPTACLE TO POINT OF CONNECTION ON THE EXTERIOR OF THE BUILDING (LOCATION AND METHOD OF TERMINATION TO BE COORDINATED WITH THE UTILITY PROVIDER). ALL INTERIOR WIRING SHALL BE CONCEALED IN WALLS, ATTIC, OR IN SURFACE MOUNTED RACEWAY AS INDICATED. PROVIDE SEPARATE CONDUIT AND TERMINATION BOX (OBTAIN BOX FROM SERVICE PROVIDER) ON EXTERIOR BUILDING FOR TELEPHONE AND CATV WIRING IN LOCATION ACCEPTABLE TO SERVICE PROVIDER.
5. PROVIDE NEW ELECTRICAL FIXTURES (WITH 2700K, 60 WATT EQUIVALENT LED BULBS WITH GU24 BASES AND NON-REMOVABLE ADAPTERS FOR A19 FIXTURES), DEVICES AND COVER PLATES AS SCHEDULED AND SPECIFIED.
6. PROVIDE NEW SMOKE DETECTORS AND COMBINATION SMOKE/CARBON MONOXIDE DETECTORS AS INDICATED. INTERCONNECT ALL SMOKE AND COMBINATION S/CO DETECTORS SO THAT WHEN ONE IS ACTIVATED, ALL OTHERS WITHIN THE SAME APARTMENT WILL ACTIVATE.
7. PROVIDE CIRCUIT WIRING AND CONNECTION TO NEW KITCHEN RANGE HOOD AND BATH EXHAUST FAN. KITCHEN RANGE HOODS SHALL BE CONNECTED TO LIGHTING CIRCUIT AND CONTROLLED SEPARATE FAN AND LIGHT SWITCHED LOCATED OVER THE OPEN WORK SPACE. BATH FAN SHALL BE SWITCHED TO OPERATE SIMULTANEOUSLY WITH LIGHT.
8. PROVIDE NEW MOTOR RATED TOGGLE SWITCH EQUIPMENT DISCONNECT AT FURNACE AND WATER HEATER. PROVIDE NEW BRANCH CIRCUIT WIRING CONNECTED TO EXISTING HEAT PUMP DISCONNECT.

ELECTRICAL PLAN LEGEND

- ELECTRICAL PANEL
- BRANCH CIRCUIT WIRING
- HOMERUN WIRING TO ELECTRICAL PANEL
- WIRING IN WIREMOLD FROM ATTIC - VERTICAL
- WIRING IN WIREMOLD ON WALL - HORIZONTAL
- JUNCTION BOX
- DUPLEX RECEPTACLE 120V
- SINGLE RECEPTACLE 120V
- 240V RECEPTACLE
- SINGLE SWITCH
- THREE WAY SWITCH
- EQUIP DISCONNECT W/ GFCI 5VC RECEPTACLE IN NEMA 3R ENCLOSURE
- LIGHT FIXTURE - CEILING MOUNT
- LIGHT FIXTURE - WALL MOUNT
- EXHAUST FAN
- TELEPHONE
- CATV
- SMOKE/CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR UNIT

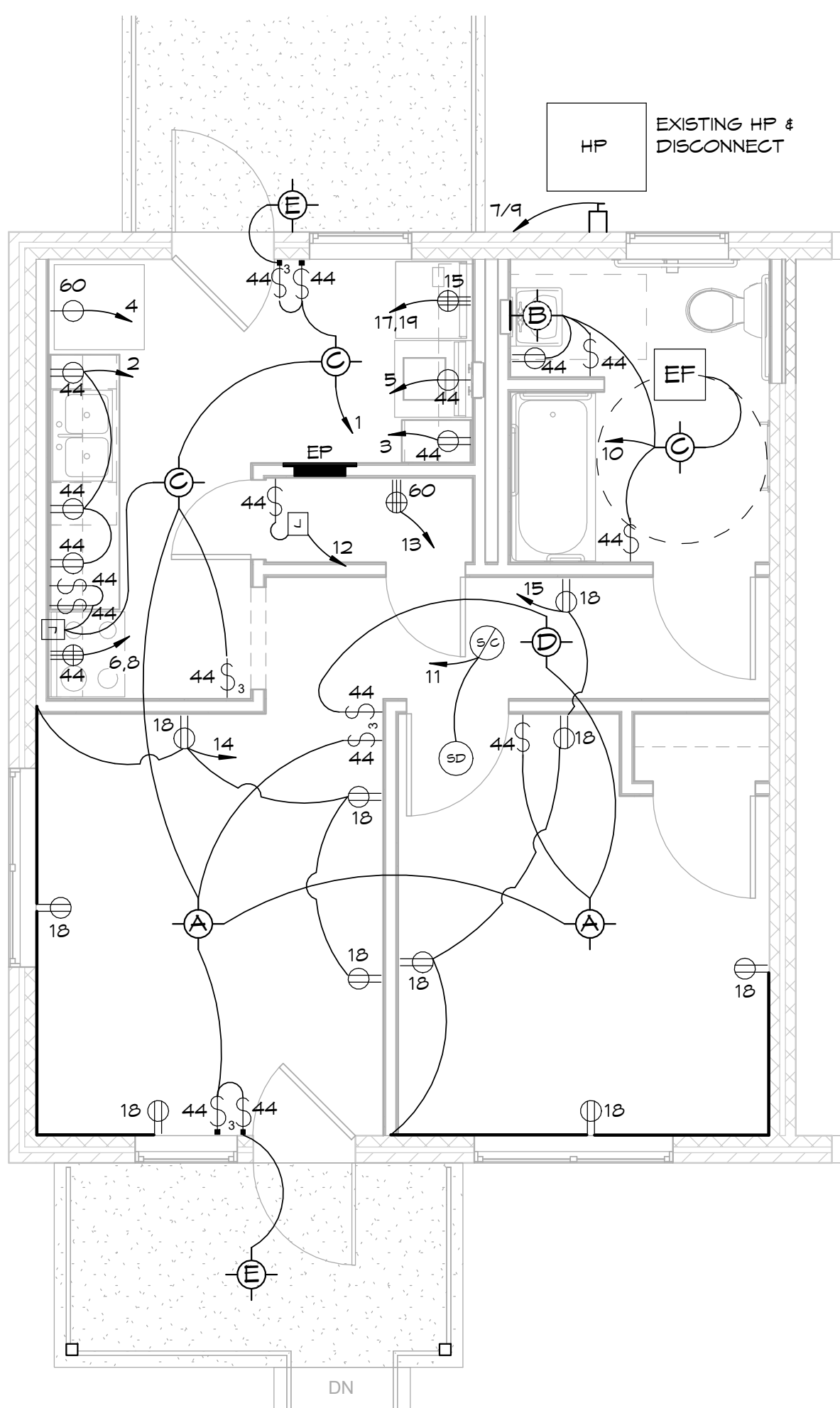
THREE BEDROOM UNIT					
SQUARE FOOTAGE	855	VA	X	3 VA / SF	2565 VA
KITCHEN	1500	VA	X	2 CKT	3000 VA
LAUNDRY	1500	VA	X	1 CKT	1500 VA
RANGE	12000	VA	X	1 CKT	12000 VA
DRYER	5000	VA	X	1 CKT	5000 VA
RANGE HOOD	1500	VA	X	1 CKT	1500 VA
WATER HEATER	4500	VA	X	1 CKT	4500 VA
AIR HANDLER	10000	VA	X	1 CKT	10000 VA
SUBTOTAL					40065 VA
FIRST 10 KVA	10000	@	100%		10000 VA
REMAINDER OF LOAD	30065	@	40%		12026 VA
HEAT PUMP	8400	@	100%		8400 VA
TOTAL					30426 VA
					126.78 AMPS
VOLTAGE: 120/240 PHASE: 1					

ONE BEDROOM UNIT					
SQUARE FOOTAGE	550	VA	X	3 VA / SF	1650 VA
KITCHEN	1500	VA	X	2 CKT	3000 VA
LAUNDRY	1500	VA	X	1 CKT	1500 VA
RANGE	12000	VA	X	1 CKT	12000 VA
DRYER	5000	VA	X	1 CKT	5000 VA
RANGE HOOD	1500	VA	X	1 CKT	1500 VA
WATER HEATER	4500	VA	X	1 CKT	4500 VA
AIR HANDLER	7500	VA	X	1 DKT	7500 VA
SUBTOTAL					36650 VA
FIRST 10 KVA	10000	@	100%		10000 VA
REMAINDER OF LOAD	26650	@	40%		10660 VA
HEAT PUMP	6000	@	100%		6000 VA
TOTAL					26660 VA
					111.08 AMPS
VOLTAGE: 120/240 PHASE: 1					

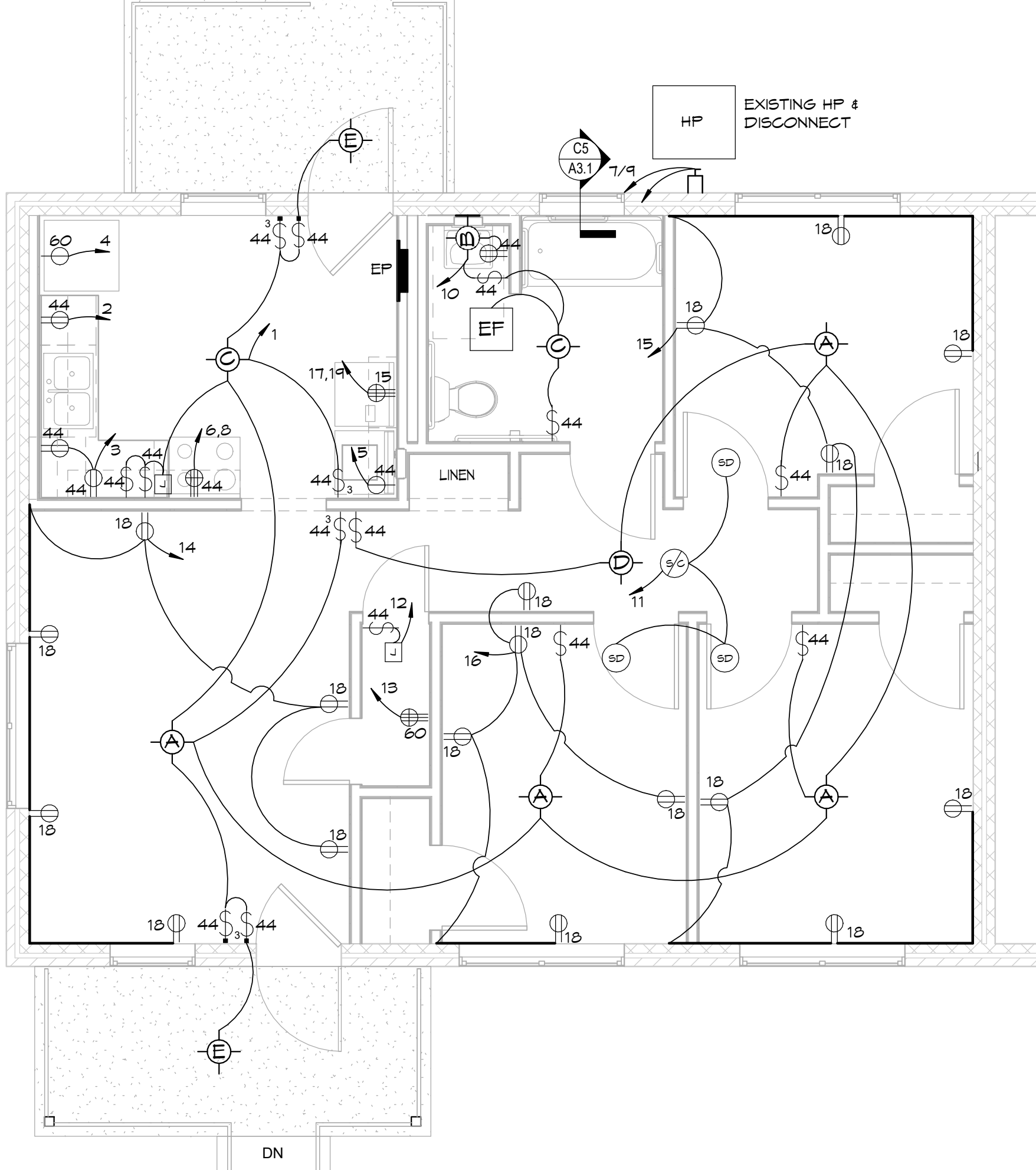
Light Fixture Schedule			
Mark	Brand	Model No.	Remarks
A	Progress	P4961-30	1
B	Progress	P3111-30	1
C	Progress	P3520-30	1
D	Progress	P3516-30	1
E	Progress	P5791-68	1
1 - Provide 9w, 2700K LED bulbs with GU24 Base and non-removable adapter to A19			

LOAD CENTER THREE BEDROOM											
VOLTAGE: 120/240 V			MAINS: MLO			PHASE: 1			MOUNTING: RECESSED		
MAIN: Existing			TOTAL LOAD: 126.78 A			FAULT DUTY: 10,000 A					
NO.	SERVES	NOTE	BREAKER		PHASE		BREAKER		NOTE	SERVES	NO.
			TRIP	P	A	B	P	TRIP			
1	General Lighting	2	20	1			1	20	1	Kitchen / Small Appliance	2
3	Kitchen / Small Appliance	1	20	1			1	20	---	Refrigerator	4
5	Washing Machine	---	20	1			2	50	---	Range	6
7	Heat Pump	---	35	2			---	---	---	---	8
9	---	---	---	---			1	20	2	Bathroom	10
11	Smoke Detector	2	20	1			1	60	---	Air Handler	12
13	Water Heater	---	30	2			1	20	2	Receptacles - Living Room	14
15	Receptacles - Bedrooms	2	20	1			1	20	2	Receptacles - Bedroom	16
17	Dryer	---	30	2			---	---	---	Space	18
19	---	---	---	---			---	---	---	Space	20
21	Space	---	---	---			---	---	---	Space	22
23	Space	---	---	---			---	---	---	Space	24
REMARKS											
1 Combination GFCI / AFCI Breaker											
2 AFCI Breaker											

LOAD CENTER ONE BEDROOM											
VOLTAGE: 120/240 V			MAINS: MLO			PHASE: 1			MOUNTING: RECESSED		
MAIN: Existing			TOTAL LOAD: 111.08 A			FAULT DUTY: 10,000 A					
NO.	SERVES	NOTE	BREAKER		PHASE		BREAKER		NOTE	SERVES	NO.
			TRIP	P	A	B	P	TRIP			
1	General Lighting	2	20	1			1	20	1	Kitchen / Small Appliance	2
3	Kitchen / Small Appliance	1	20	1			1	20	---	Refrigerator	4
5	Washing Machine	---	20	1			2	50	---	Range	6
7	Heat Pump	---	20	2			---	---	---	---	8
9	---	---	---	---			1	20	1	Bathroom	10
11	Smoke Detector	2	20	1			1	45	---	Air Handler	12
13	Water Heater	---	30	2			1	20	2	Receptacles - Living Room	14
15	Receptacles - Bedroom and Hall	2	20	1			---	---	---	Space	16
17	Dryer	---	30	2			---	---	---	Space	18
19	---	---	---	---			---	---	---	Space	20
21	Space	---	---	---			---	---	---	Space	22
23	Space	---	---	---			---	---	---	Space	24
REMARKS											
1 Combination GFCI / AFCI Breaker											
2 AFCI Breaker											



F1 1BR HC - NEW ELECTRICAL
1/4" = 1'-0"



F3 3BR HC - NEW ELECTRICAL
1/4" = 1'-0"



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ELECTRICAL PLANS & NOTES
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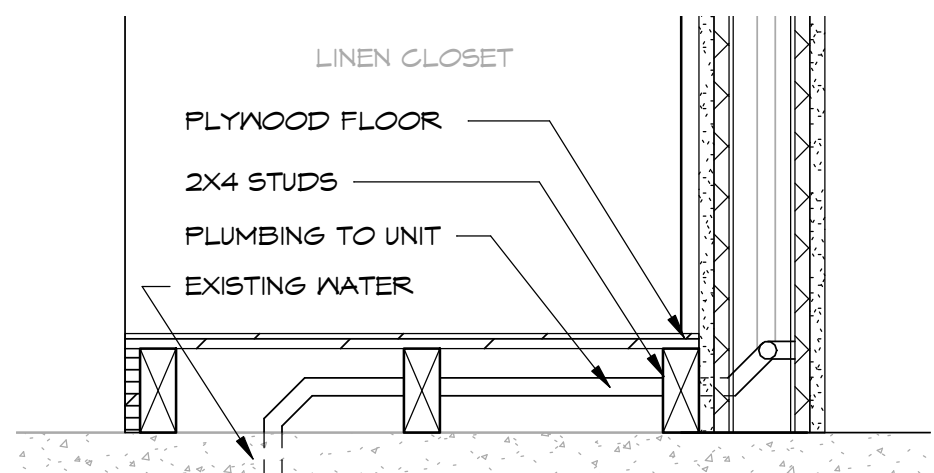
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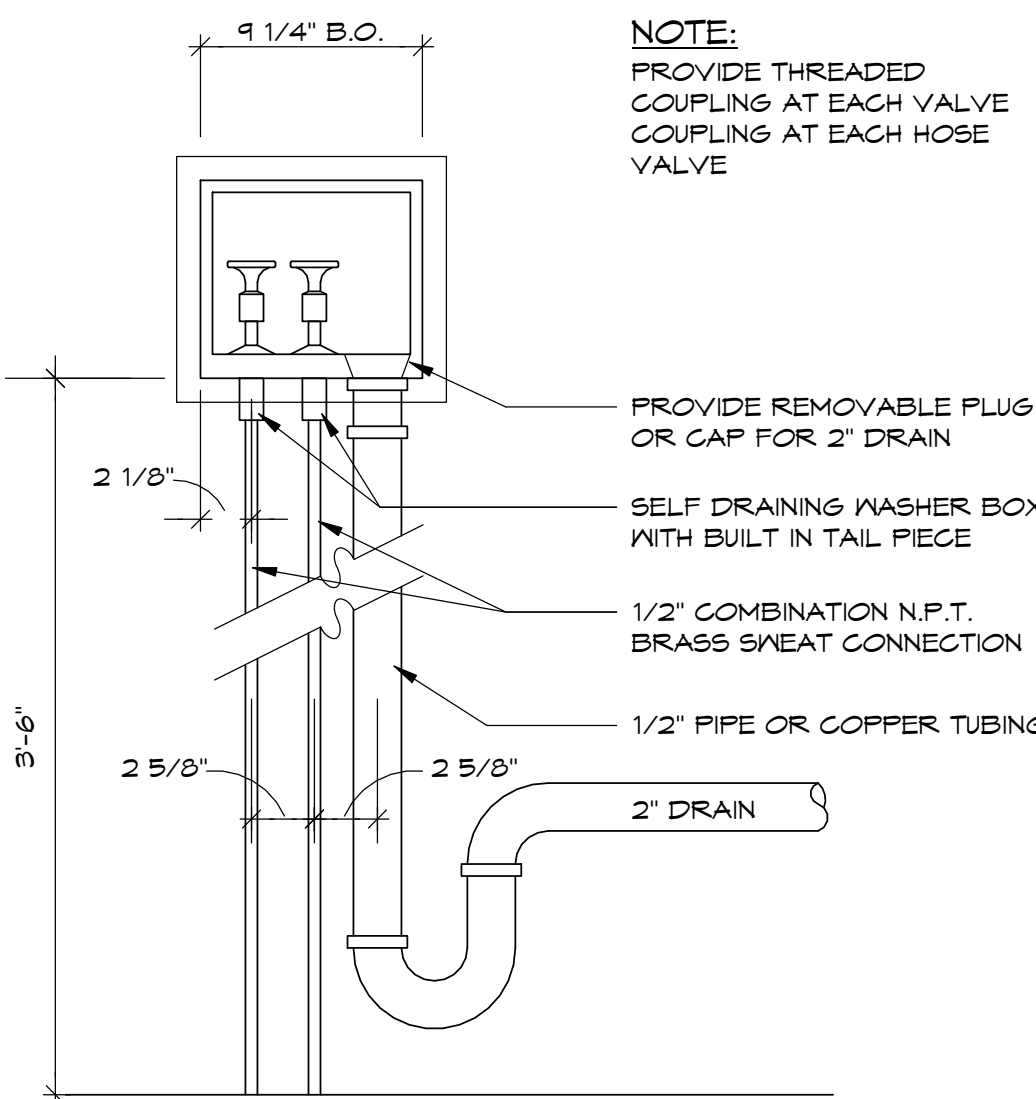
BUILDING / UNIT PLUMBING NOTES:

1. REMOVE ALL EXISTING SUPPLY AND DWV PIPING ABOVE SLAB; PIPING BELOW SLAB SHALL BE ABANDONED IN PLACE. REMOVE ALL EXISTING PLUMBING FIXTURES, VALVES, SUPPLIES, STOPS, DRAINS AND TRAPS. SALVAGE EXISTING WATER CLOSET, LAVATORY, AND KITCHEN SINK AND FAUCET FOR THE OWNER.
2. COORDINATE PLUMBING WORK WITH OTHER TRADES PRIOR TO START OF WORK. NOTIFY ARCHITECT IF CONFLICTS OCCUR.
3. PROVIDE NEW DWV AND SUPPLY PIPING FROM A POINT OF CONNECTION TO EXISTING WASTE PIPING OUTSIDE OF THE BUILDING. EXTEND NEW DWV PIPING TO EACH FIXTURE AND VENT THROUGH EXISTING ROOF PENETRATIONS. EXTEND NEW SUPPLY PIPING TO EACH FIXTURE WITH VALVES AS INDICATED AND REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM.
4. PROVIDE NEW WATER HEATER AND DIELECTRIC HEAT CHECK NIPPLES. CONNECT HOT AND COLD WATER PIPING TO WATER HEATER WITH FLEXIBLE DIELECTRIC FITTINGS. PROVIDE FULL PORT BALL VALVES AT HOT AND COLD PIPING TO WATER HEATER. PROVIDE FULL SIZE PIPE FROM TPR VALVE AND TERMINATE AT 12" ABOVE FINISHED FLOOR. SECURE ALL WATER PIPING TO STRUCTURE WITH STAND OFF CLAMPS.
5. PROVIDE NEW STAINLESS STEEL DOUBLE BOWL KITCHEN SINK WITH FAUCET, ESCUTCHEONS, HOT AND COLD STOPS, FLEXIBLE SUPPLIES, AND WASTE PIPING. SEAL SUPPLY PIPING AT WALL PENETRATIONS WITH SILICONE SEALANT.
6. PROVIDE NEW WALL MOUNT LAVATORY WITH FAUCET, ESCUTCHEONS, HOT AND COLD STOPS, FLEXIBLE SUPPLIES, AND WASTE PIPING. SEAL SUPPLY PIPING AT WALL PENETRATIONS WITH SILICONE SEALANT.
7. PROVIDE NEW WATER CLOSET WITH SEAT AND LID, ESCUTCHEON, STOP, FLEXIBLE SUPPLY, STAINLESS STEEL FLOOR FLANGE AND WAX RING (NON-FUNNEL TYPE). SEAL SUPPLY PIPING AT WALL PENETRATIONS WITH SILICONE SEALANT. SEAL WATER CLOSET TO FLOOR WITH SILICONE SEALANT; COLOR TO MATCH FIXTURE.
8. PROVIDE NEW BATH TUB, TUB VALVE, SPOUT, SHOWER HEAD AND RISER, WASTE AND OVERFLOW. PROVIDE HANDHELD SHOWER HEAD AND ADJUSTABLE ROD AT HANDICAPPED UNIT(S). OFFSET SHOWER VALVE BETWEEN CENTER AND OUTSIDE HALF OF TUB AT HANDICAPPED UNIT(S); CENTER TUB SPOUT AND SHOWER HEAD ON TUB.
9. PROVIDE NEW PVC WASHER BOX WITH 1/4 TURN VALVES AND HAMMER ARRESTERS.

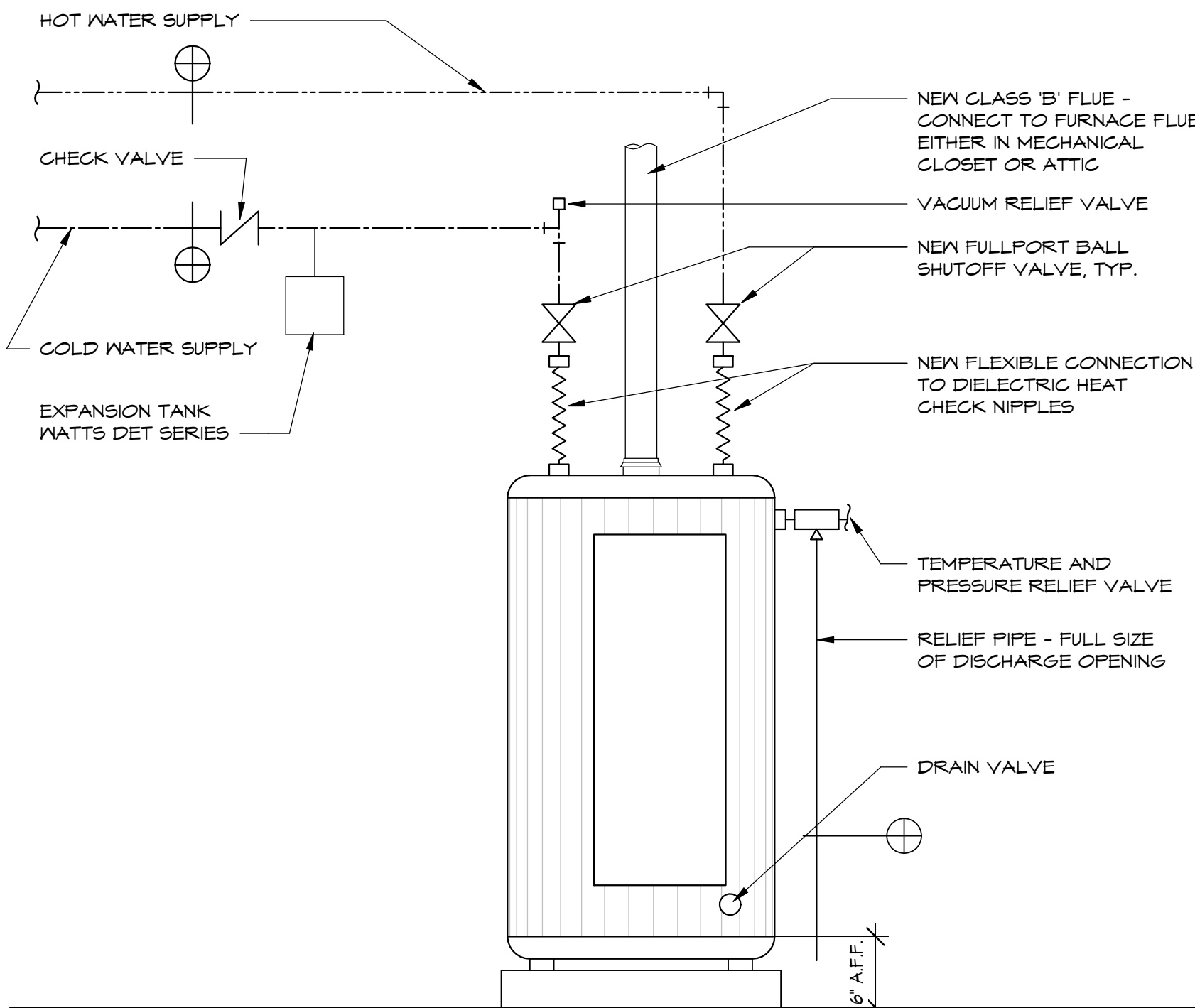
PLUMBING LEGEND	
-----	SANITARY, WASTE - S, W, SAN
-----	VENT PIPING - V
-----	COLD WATER PIPING - CW
-----	HOT WATER PIPING - HW
-----	GAS - G
CO	CLEAN OUT
C	COLD WATER
DN	DOWN
H	HOT WATER
S	SANITARY SEWER
V	VENT
VTR	VENT THROUGH ROOF
W	WASTE
WH	WATER HEATER
⊕	CONNECT TO EXISTING
BT	BATH TUB
WC	WATER CLOSET
LV	LAVATORY
KS	KITCHEN SINK
WB	WASH BOX
AAV	AIR ADMITTANCE VALVE DETAIL
G	GAS



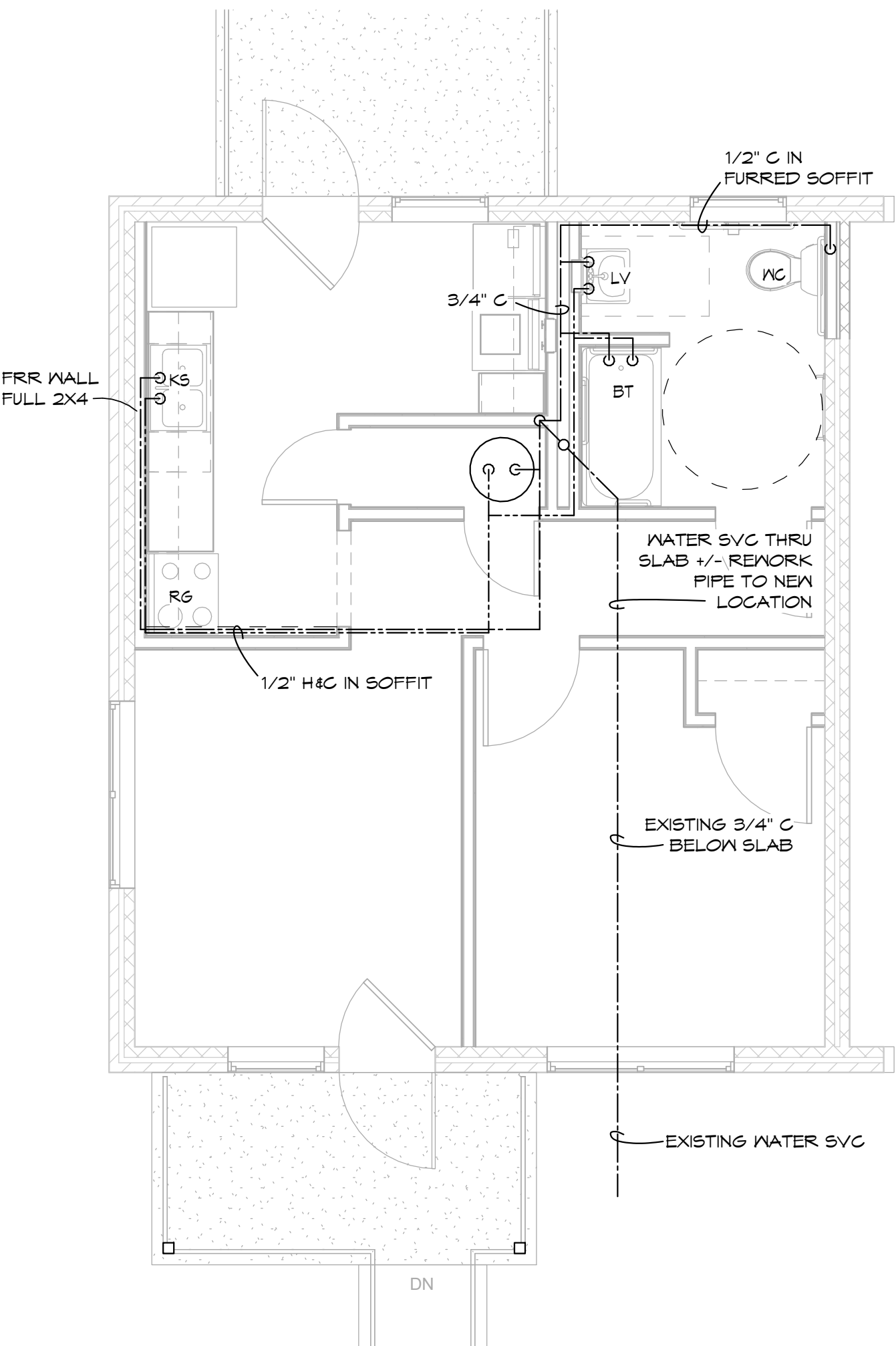
B7 RAISED FLOOR DETAIL
1 1/2" = 1'-0"



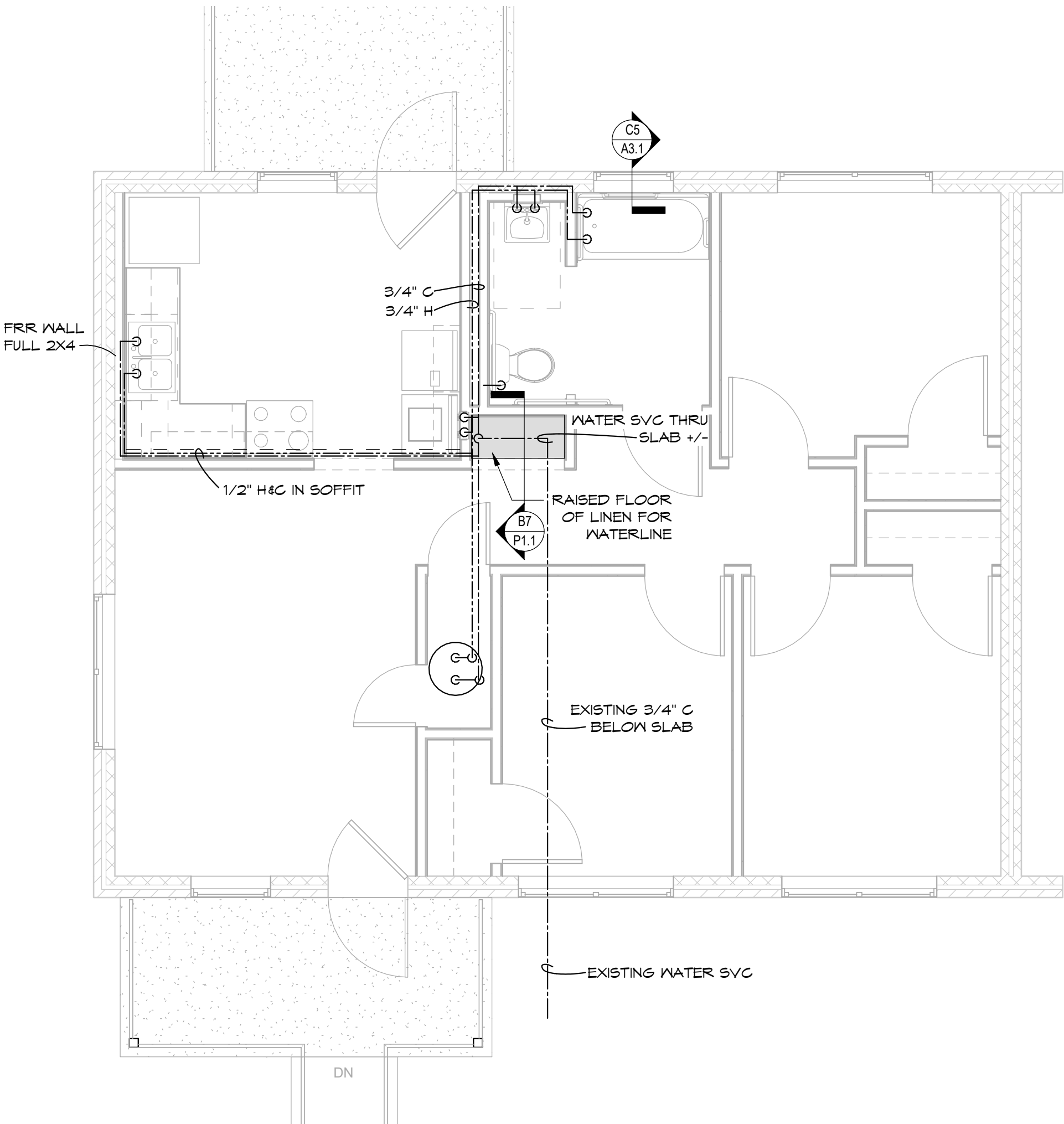
D7 WASHER BOX DETAIL
1 1/2" = 1'-0"



F6 ELECTRIC WATER HEATER DETAIL
3/4" = 1'-0"



F1 1BR HC - NEW PLUMBING - SUPPLY
1/4" = 1'-0"



F3 3BR HC - NEW PLUMBING - SUPPLY
1/4" = 1'-0"



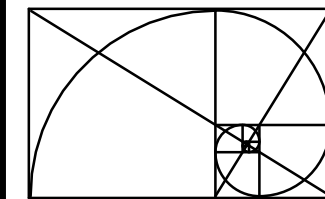
REVISIONS		
No.	Description	Date

Job Number: 1911-00
Date: 01/20/2020
Drawn By: ---
Checked By: TJR
CAD File: ---

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PLUMBING PLANS - SUPPLY
EXTERIOR & INTERIOR HANDICAPPED ACCESSIBILITY RENOVATION AT
DEVELOPMENTS G462-8 & G462-9
AMERICUS, GEORGIA

BRADFELD
RICHARDS
RHODES &
ASSOCIATES
ARCHITECTS, Inc.



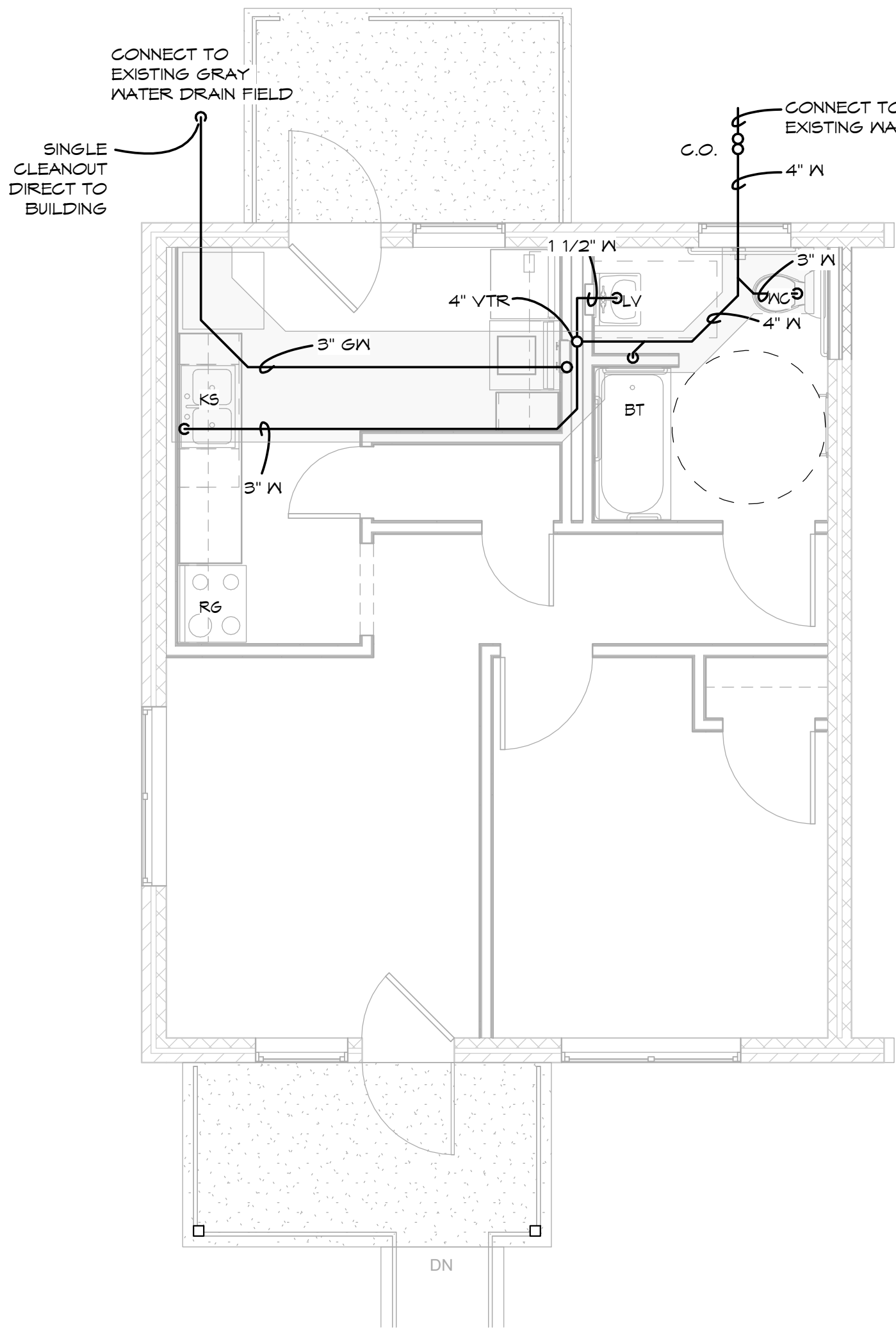
1040 CROWN POINTE PKWY.
SUITE FIVE HUNDRED FIFTY
ATLANTA, GEORGIA 30338
TEL. 678.990.5656
FAX 678.990.5858

P1.1

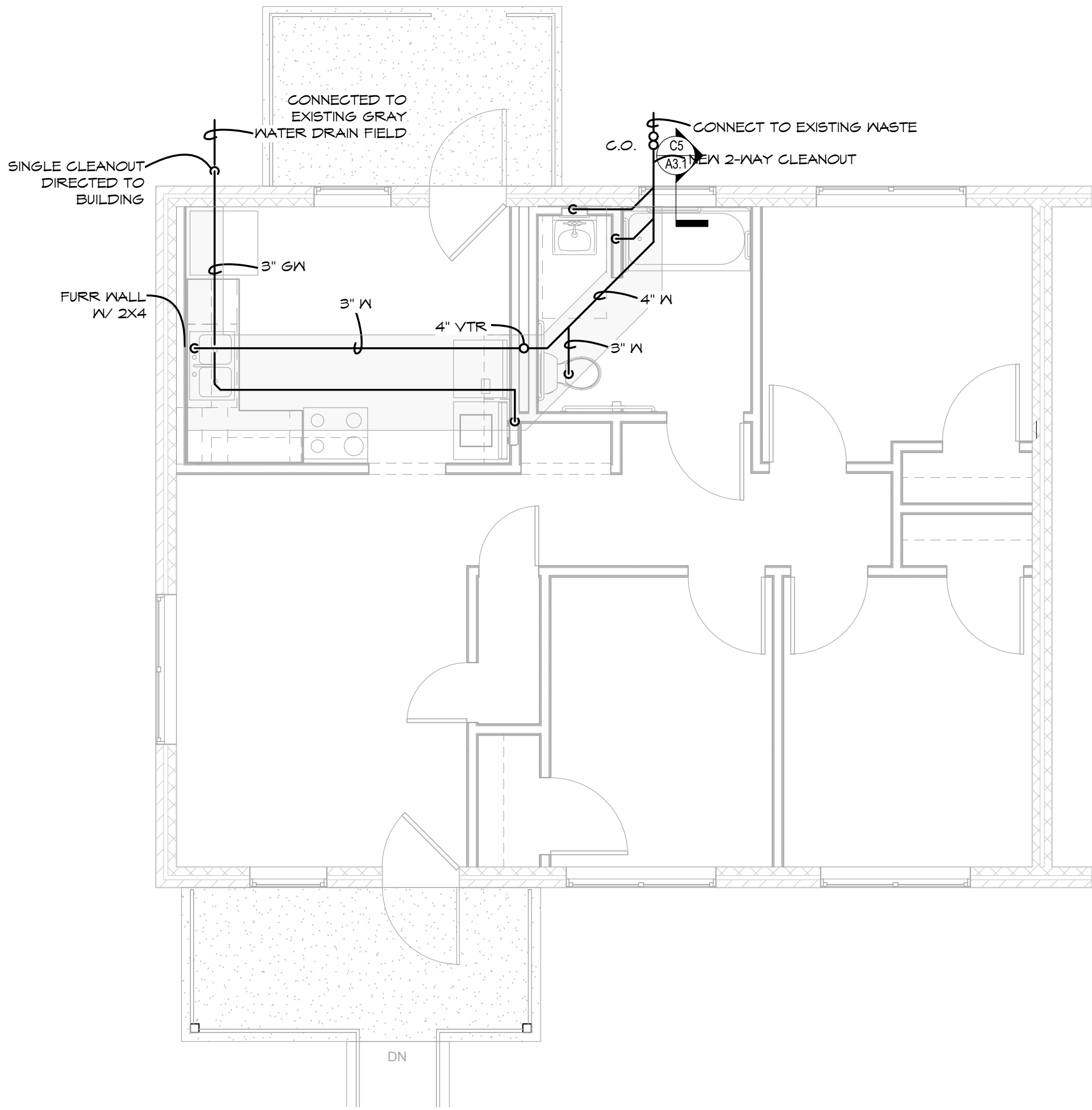
BUILDING / UNIT PLUMBING NOTES:

1. REMOVE ALL EXISTING SUPPLY AND DWV PIPING ABOVE SLAB; PIPING BELOW SLAB SHALL BE ABANDONED IN PLACE. REMOVE ALL EXISTING PLUMBING FIXTURES, VALVES, SUPPLIES, STOPS, DRAINS AND TRAPS. SALVAGE EXISTING WATER CLOSET, LAVATORY, AND KITCHEN SINK AND FAUCET FOR THE OWNER.
2. COORDINATE PLUMBING WORK WITH OTHER TRADES PRIOR TO START OF WORK. NOTIFY ARCHITECT IF CONFLICTS OCCUR.
3. PROVIDE NEW DWV AND SUPPLY PIPING FROM A POINT OF CONNECTION TO EXISTING WASTE PIPING OUTSIDE OF THE BUILDING. EXTEND NEW DWV PIPING TO EACH FIXTURE AND VENT THROUGH EXISTING ROOF PENETRATIONS. EXTEND NEW SUPPLY PIPING TO EACH FIXTURE WITH VALVES AS INDICATED AND REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM.
4. PROVIDE NEW WATER HEATER AND DIELECTRIC HEAT CHECK NIPPLES. CONNECT HOT AND COLD WATER PIPING TO WATER HEATER WITH FLEXIBLE DIELECTRIC FITTINGS. PROVIDE FULL PORT BALL VALVES AT HOT AND COLD PIPING TO WATER HEATER. PROVIDE FULL SIZE PIPE FROM TPR VALVE AND TERMINATE AT 12" ABOVE FINISHED FLOOR. SECURE ALL WATER PIPING TO STRUCTURE WITH STAND OFF CLAMPS.
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PLUMBING LEGEND	
-----	SANITARY, WASTE - S, W, SAN
-----	VENT PIPING - V
-----	COLD WATER PIPING - CW
-----	HOT WATER PIPING - HW
-----	GAS - G
CO	CLEAN OUT
C	COLD WATER
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WH	WATER HEATER
⊕	CONNECT TO EXISTING
BT	BATH TUB
WC	WATER CLOSET
LV	LAVATORY
KS	KITCHEN SINK
WB	WASH BOX
AAV	AIR ADMITTANCE VALVE DETAIL
G	GAS



F1 1BR HC - NEW PLUMBING - WASTE
1/4" = 1'-0"



F3 3BR HC - NEW PLUMBING - WASTE
1/4" = 1'-0"



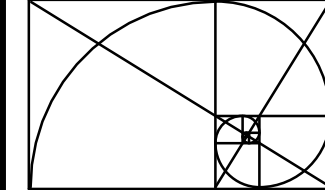
REVISIONS		
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P1.2